

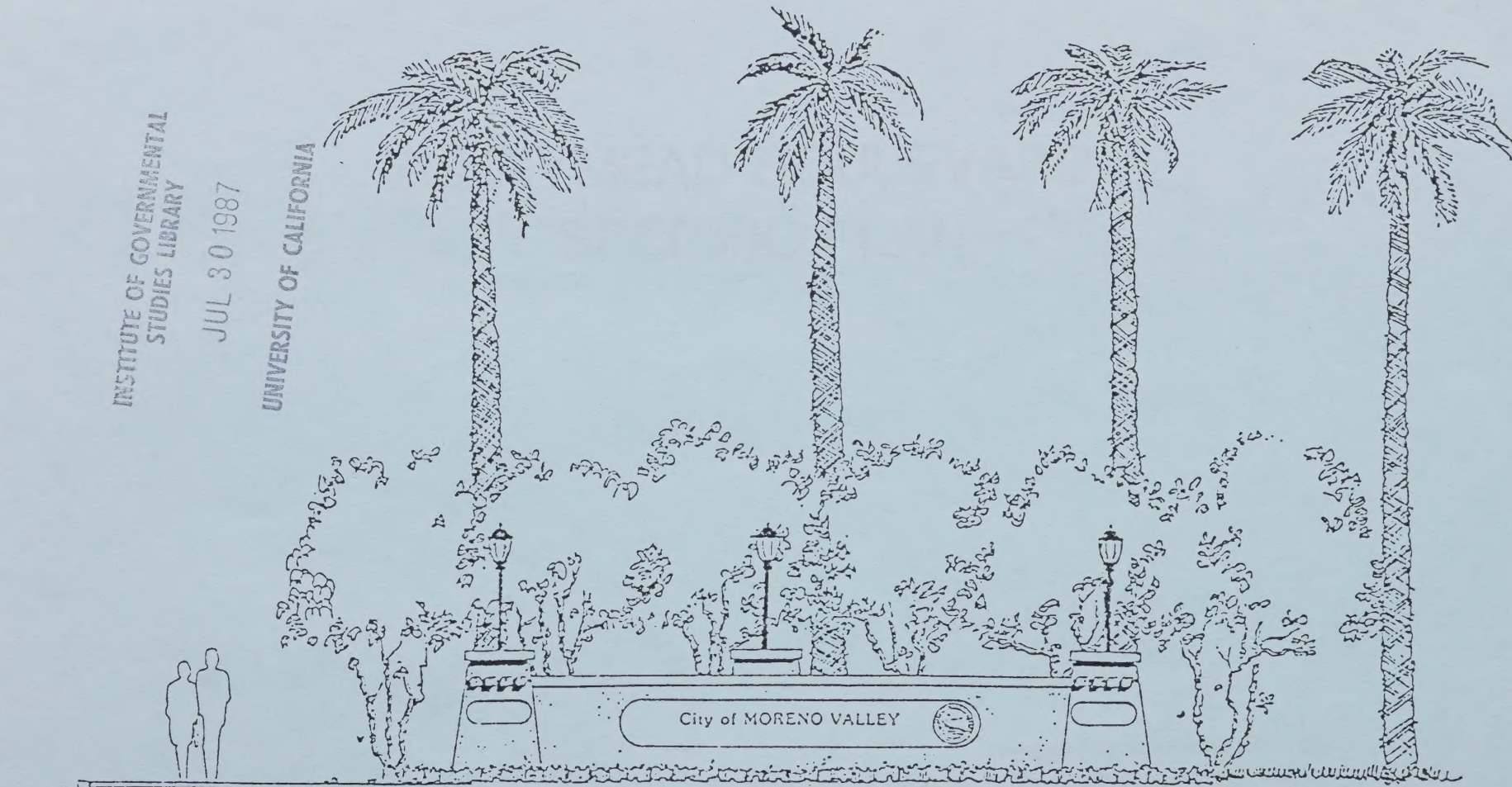
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## SUNNYMEAD BOULEVARD SPECIFIC PLAN



CITY of MORENO VALLEY





# SUNNYMEAD BOULEVARD SPECIFIC PLAN

Prepared by: PLANNING NETWORK

Recommended for Approval by the Planning Commission 4/2/87

Adopted by City Council 5/26/87



CITY of MORENO VALLEY

# STANDARD SHEET DRAWINGS

STANDARD SHEET  
DRAWINGS  
1. The drawing shall be on a standard sheet of paper.  
2. The drawing shall be on a standard sheet of paper.

STANDARD SHEET  
DRAWINGS

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# INTRODUCTION

The City of Moreno Valley is located in a growing area of the Inland Empire. The city is situated in the heart of the San Joaquin River Valley, one of the most fertile and productive agricultural areas in the world. The city is home to a large and diverse population, and it is a major center of commerce and industry in the region. The city is also a major center of education and culture, and it is a vibrant and exciting place to live and work.

The City of Moreno Valley is a growing and vibrant community. It is a major center of commerce and industry in the region, and it is a vibrant and exciting place to live and work. The city is home to a large and diverse population, and it is a major center of education and culture. The city is also a major center of commerce and industry in the region, and it is a vibrant and exciting place to live and work.

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CITY of MORENO VALLEY

# INTRODUCTION





## SUNNYMEAD BOULEVARD SPECIFIC PLAN

### I. INTRODUCTION

The Sunnymead Boulevard Specific Plan is intended as a generally self-contained land use plan, and design standards and guidelines manual for the development of the Sunnymead Boulevard corridor. The guidelines and standards of this document are to be, upon their adoption by the Moreno Valley City Council, binding upon any person or persons, company, agency, or entity which intends to alter a land use or construct, reconstruct, or modify any permanent or temporary improvement along Sunnymead Boulevard.

The regulations, programs, and guidelines contained within the Sunnymead Boulevard Specific Plan are intended for the systematic execution of the General Plan in accordance with Sections G5450, et seq., of the California Government Code and the appropriate Articles of the City's Zoning Ordinance related to General Plans and Specific Plans. As per Section 8.305 of the City's Zoning Ordinance, any use or development of property within the Sunnymead Boulevard Specific Plan area shall be in compliance with the regulations and guidelines contained herein.

### A. PURPOSE AND INTENT OF THE SUNNYMEAD BOULEVARD SPECIFIC PLAN

The purpose of this document is to protect and enhance the quality of development along Sunnymead Boulevard. Specifically, this document establishes criteria intended to create a pattern of commercial, public, and related land uses for the maximum benefit of the Moreno Valley community.

Sunnymead Boulevard is both a primary gateway and major commercial spine for the City of Moreno Valley. The landscape, streetscape, and buildings that border the boulevard create an important visual image for Moreno Valley, and at the same time, serve essential community needs for shopping and services. In addition, Sunnymead Boulevard serves regional needs related to traffic along the Pomona Freeway. With the future development of the regional mall on the present raceway site, the regional nature of Sunnymead Boulevard commercial activities can be expected to increase. As a result, controlled, image-oriented regulations and guidelines for Sunnymead Boulevard development are essential.

It is the express intent of this document to recognize the complex nature of Sunnymead Boulevard commercial activities, and to provide a



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balance between local retail needs, local commercial service needs, and regional commercial demands until more comprehensive and detailed planning efforts are completed, as described below. The land use proposals contained herein are intended to balance short-term commercial demands along Sunnymead Boulevard with its long-term potential. The guidelines and standards contained herein are intended to beautify the boulevard and maximize its utility in terms of convenience, economic viability, and compatibility with surrounding land uses.

Within this document, development and design standard and guidelines are articulated both in text and graphics to facilitate their implementation. This document, then, will serve as an information source to prospective developers, and also serve as a regulatory mechanism to ensure an orderly and harmonious pattern of development. This document establish high standards for the appearance and function of buildings, property, and associated facilities such as signs, landscaping, and streets. However, regulations and guidelines are also flexible enough to allow individual expression and imaginative solutions.

As part of these guidelines and standards, a program of conditional use permit requirements and site plan and architectural review is established to evaluate each proposal for development. This process will facilitate the implementation of the

high design standards set forth for Sunnymead Boulevard.

#### B. RELATIONSHIP TO THE EXISTING INTERIM GENERAL PLAN

This document will be consistent with the policies of the City of Moreno Valley's existing interim General Plan. The existing general plan document, adopted by the City in 1985, incorporates the provisions of the Riverside County General Plan on an interim basis until a new City General Plan can be developed and adopted.

The existing General Plan is a generalized policy document, and does not contain traditional land use plans. The land use proposals contained in this document are intended to expand and implement the traditional land use element map as it would apply to Sunnymead Boulevard. In addition, the commercial policies of the existing General Plan are not specific, nor are they directly related to Sunnymead Boulevard development issues. This document complements existing General Plan policies by establishing specific criteria for land use along Sunnymead Boulevard, as well as procedures for their implementation.





### C. RELATIONSHIP TO THE GENERAL PLAN PROGRAM

The City is currently undertaking the preparation of a comprehensive General Plan, scheduled for adoption in the Summer of 1987. The Sunnymead Boulevard Specific Plan is intended to 1) recognize the present significant demands for commercial development along Sunnymead Boulevard, 2) permit continued commercial development which will generate much needed economic development and municipal revenues, and 3) at the same time, keep open as many general plan options for the boulevard as possible.

The future role and function of Sunnymead Boulevard in relation to the structure of land use citywide is a critical issue in the development of the Moreno Valley General Plan. Three basic options can be identified. As one option, Sunnymead Boulevard could become the focal point of a major community center, either as the primary community center, or as one of several such centers in the City. Second, future Sunnymead Boulevard could function in a primarily convenience role, meeting the more immediate retail and service commercial needs of Moreno Valley residents, as well as travelers along the Pomona Freeway. In this case the major centers would be located in other places within the City. Finally, Sunnymead Boulevard could become part of a larger commercial, service, and business activity area along the Pomona Freeway.

The decision as to how Sunnymead Boulevard will function within the City in the future will make a significant difference in the ultimate land use configuration along the boulevard. However, the determination of Sunnymead Boulevard's future role is best made within a citywide context. It is, therefore, most appropriately a citywide policy choice to be made as part of the overall General Plan program.

### D. RELATIONSHIP TO THE ZONING ORDINANCE

The Specific Plan will provide the user with the basic information needed to determine what City policies, standards, and regulations will guide the development of a particular parcel within the Sunnymead Boulevard specific plan area. However, areas not specifically covered by the specific plan (e.g. parking regulations, etc.) will continue to be governed by existing zoning ordinance regulations. No provision of this plan is intended to repeal, abrogate, annul, impair, or interfere with any existing City ordinance or interim ordinance except as specifically stated in this document.

### E. RELATIONSHIP TO INTERIM CITY GUIDELINES

The City of Moreno Valley is adopting Interim City Guidelines which will guide development until final City goals, objectives, policies, and



guidelines are adopted as part of the General Plan. Those guidelines are "generic" in that they apply citywide. It is intended that the citywide guidelines will be applied as appropriate to new development along Sunnymead Boulevard. The specific plan supplements the Interim City Guidelines as they apply to the corridor by establishing additional standards and guidelines specific to Sunnymead Boulevard development. The specific plan is also intended to establish a design theme for this important corridor, and to identify Sunnymead Boulevard as a special area within the City of Moreno Valley.

#### F. RELATIONSHIP TO FUTURE SUNNYMEAD BOULEVARD REDEVELOPMENT AND SPECIFIC PLANS

Because of the complexity of issues facing Sunnymead Boulevard, and in particular, the existence of numerous narrow lots, multiple ownerships, and existing incompatible uses and structures, the ultimate formulation of a redevelopment plan and a detailed specific plan for Sunnymead Boulevard will be necessary. Because of the numerous citywide issues which must be resolved prior to the preparation of redevelopment and specific plans for the corridor, these plans will most likely be prepared following adoption of the Moreno Valley General Plan.

It is intended that this document will act as Phase I of an ultimate Specific Plan for Sunnymead

Boulevard. This Phase I Specific Plan will remain in effect until future, ultimate redevelopment and specific plans are prepared and adopted which will serve to amend or possibly replace this document. The Sunnymead Boulevard Specific Plan, Phase I, encompasses a variety of elements which include:

- Issues and opportunities, objectives, policies, and implementation measures;
- Land use and development standards;
- General commercial design guidelines;
- Standards and guidelines for landscape and architectural treatments;
- Signage regulations and guidelines;
- Procedures for project review; and
- Establishment of an architectural theme.

The ultimate, Phase II, Specific Plan will, at a minimum, contain the following additional elements:

- Refinement of land uses and design standards and guidelines based on the Moreno Valley General Plan and redevelopment plans, when adopted;





- Plans for development and phasing of a median island along sunnymead Boulevard;
- Incentive programs for the consolidation of existing lots and drive entries; and
- Site-specific design guidelines and proposals for various properties within the corridor.
- Plans and requirements for development and phasing of bus turnouts and acceleration/deceleration lanes along Sunnymead Boulevard.

- Signage regulations;
- General commercial design guidelines, including architecture and site planning, signage, and landscape architecture, and;
- Community design elements.

#### G. DOCUMENT ORGANIZATION

Organizationally, this document addresses:

- Sunnymead Boulevard development issues and opportunities;
- General objectives and policies for development of the Sunnymead Boulevard corridor;
- Processing procedures for new uses and development;
- General land use configurations and specific permitted land uses;
- Development standards;



# ISSUES AND OPPORTUNITIES OBJECTIVES, POLICIES, AND IMPLEMENTATION MEASURES



CITY of MORENO VALLEY





## II. ISSUES AND OPPORTUNITIES, OBJECTIVES, POLICIES, AND IMPLEMENTATION MEASURES

### A. ISSUES AND OPPORTUNITIES

#### 1. Desirable and Compatible Land Use

Land use is one of the most pressing issues along Sunnymead Boulevard. Currently, the market for land along Sunnymead Boulevard has reached the point of successfully supporting primarily convenience-oriented and automotive uses. Thus, this level of land use development is taking place, with the advantage of an immediate source of municipal revenue for the City.

The City has the option to allow the present market to dictate land use, or it may choose to confine land uses to high image, high value uses (such as restaurants, hotels, and motels). The formulation of a strong economic development program for the City will require the construction of high quality restaurants and hotel rooms to accommodate the demand generated by traveling business executives and others visiting or passing through the City.

Portions of Sunnymead Boulevard may be appropriate for high quality restaurant and hotel/motel siting, and as the commercial market within Moreno Valley matures, Sunnymead Boulevard may be able to support on a large scale.

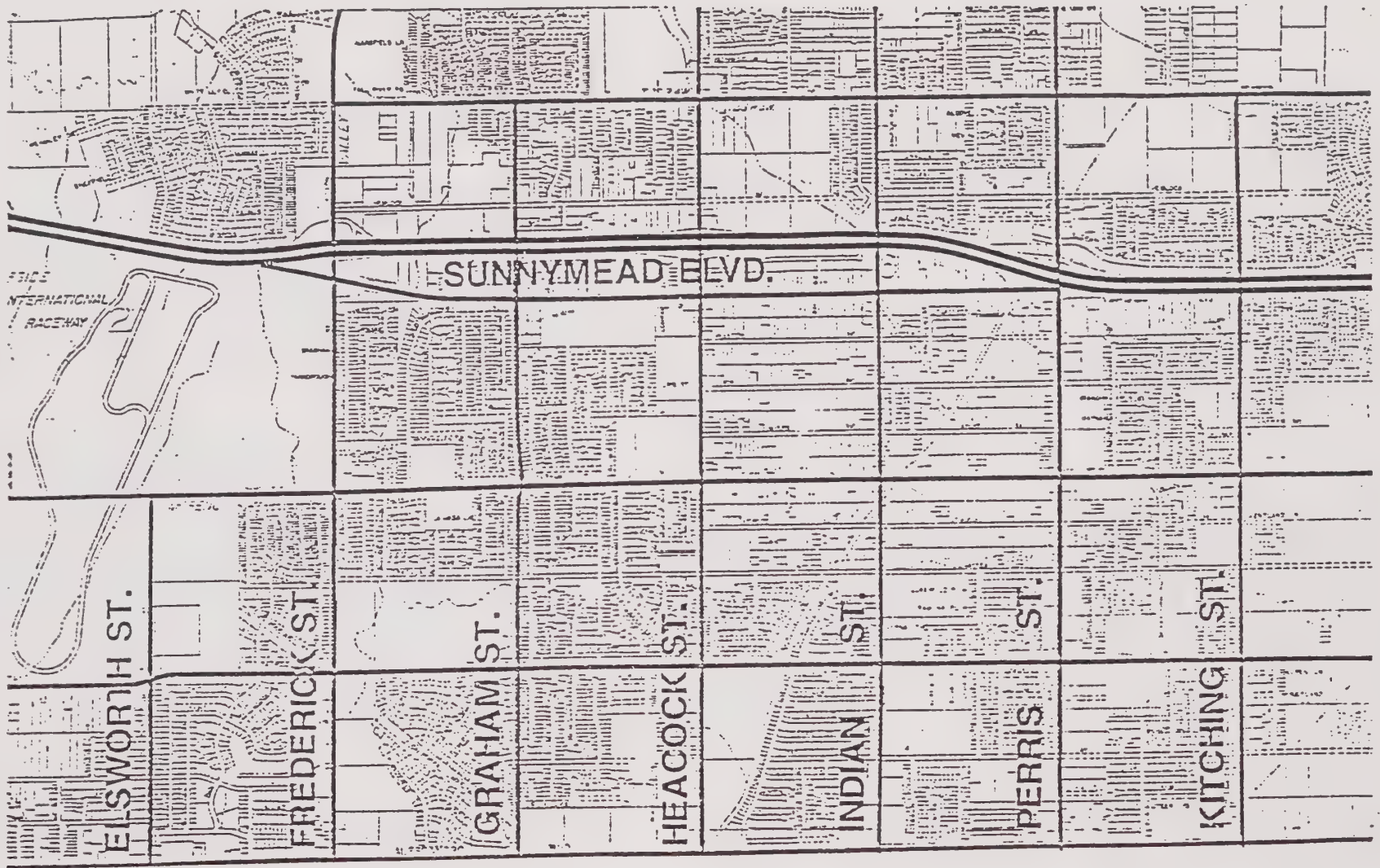
Although the market is now able to support some restaurant and hotel/ motel uses, to limit planned land uses for large areas of Sunnymead Boulevard to those high image, high value uses would, at this time, effectively "land-bank" many of the parcels along the corridor.

#### 2. Positive Visual Image

A positive visual image of uses along Sunnymead Boulevard should complement and contribute to the identity of not only the boulevard itself but of the entire City as well. Existing development standards have not led to a positive visual image for this important boulevard.

Lacking adequate positive visual image standards, the highest and best use of lands consistent with the present commercial market along the corridor have not been achieved. The City, however, now has the opportunity to establish the necessary guidelines that will ultimately result in a visually stimulating and unified development of the corridor which provides





LOCATION MAP



CITY of MORENO VALLEY





an attractive atmosphere that will encourage quality businesses to locate in the area.

In recognition of Sunnymead Boulevard's role as a gateway into the City at Frederick, as well as at its intersections with Heacock and Perris, major and minor gateway opportunities exist at these locations. The development of gateway statements for the City will complement Sunnymead Boulevard and contribute to the overall city image.

### 3. Irregular, Deep and Narrow Lot Configurations

The size and shape of lot configurations is an underlying yet significant issue for Sunnymead Boulevard. Currently, parcel sizes along the Boulevard are typically deep and narrow, and under different individual ownerships. In their present form, many parcels are limited in terms of the types of commercial activities they can support.

By formulating and implementing development guidelines and standards, the City has an opportunity to allow variable degrees of development depending on the designated land use and the marketability of each lot. Smaller or irregular lot configurations may not be feasible for development of high image, high value commercial uses at present. However, future land prices and market pressures for certain land use

types may make it more profitable in the near- to mid-term future to combine lot parcels. Redevelopment assistance, when it becomes available, may facilitate this process.

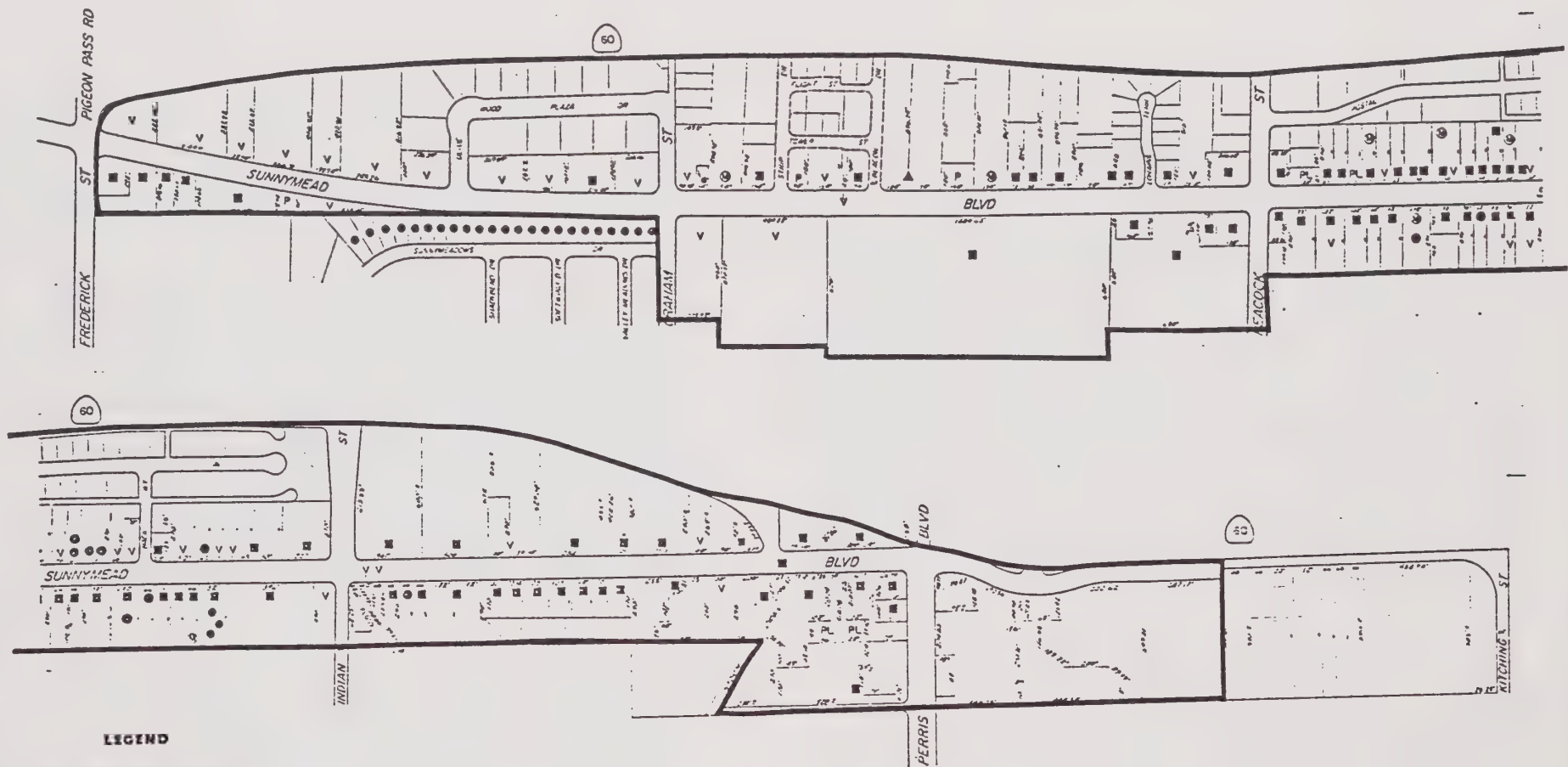
### 4. Accessibility

Sunnymead Boulevard presently carries a moderate amount of traffic. As future development takes place along the corridor, it is estimated that traffic volumes will nearly triple from their present levels.

Exacerbating future traffic problems is the large number of narrow parcels and the multiplicity of individual access points along the corridor. As a result, there are numerous uncontrolled traffic movements onto and from Sunnymead Boulevard. The number of interruptions of traffic as vehicles access Sunnymead Boulevard to and from individual access points will become a capacity constraint, and could become a safety problem.

In order to achieve Sunnymead Boulevard's immediate and long-term potentials, the present traffic carrying capacity of Sunnymead Boulevard must be increased. However, increasing the capacity of Sunnymead Boulevard through widening is constrained in many areas. Other methods which may be employed to solve present traffic problems and avoid future ones include establishment of new





# LEGEND

- SINGLE FAMILY RESIDENTIAL
- Ⓜ MULTIPLE FAMILY RESIDENTIAL
- Ⓢ COMMERCIAL
- ▲ INDUSTRIAL
- V VACANT
- PL PARKING LOT
- P PUBLIC FACILITY

SOURCE: CITY OF MORENO VALLEY PLANNING DEPT.



LAND USE STUDY AREA



CITY of MORENO VALLEY



signalized intersections when warranted, signal coordination, semi-actuated signals, lane restriping, establishment of transition lanes where feasible, and limiting access to the roadway (as would partly occur through master planning and consolidation of small narrow parcels).

One significant, but often controversial, means of increasing the boulevard's carrying capacity would be by constructing a raised median. Construction of a median would allow higher operating speeds, better control of conflicting traffic movements, and improved levels of service. In addition, more efficient timing of traffic signals would be possible. Constructing a median and providing designated, protected turn locations will give motorists a greater sense of safety, and could reduce the number of traffic accidents. Pedestrian-vehicular accidents could also be reduced.

Because installation of a raised median would limit the present unrestricted access to businesses along Sunnymead Boulevard, construction of a median can be expected to be controversial. However, experience indicates that a change from unlimited to controlled access, when coupled with high traffic volumes and intense commercial development as would be expected in the study area, has a positive rather than negative effect on business.

However, it would seem that to maximize the economic advantages of median construction and minimize the potential negatives of changing from unlimited to restricted access, ingress and egress points along Sunnymead should be consolidated as much as possible. To the extent possible, the creation of common access points or parking areas along Sunnymead, along with reciprocal access agreements between businesses and improved pedestrian access should accompany plans for median construction within the corridor. In addition to construction of a median, and creation of acceleration/deceleration lanes where feasible at key intersections and major drive entries could increase the boulevard's carrying capacity. The development of bus turnouts could also help increase the boulevard's carrying capacity by enhancing the feasibility, desirability, and safety of public transportation.

## 5. Development Standards

Development standards are an extremely important issue for Sunnymead Boulevard. Once the designated land uses are in place, the quality of physical development becomes of issue. The more important aspects of development standards for Sunnymead Boulevard include building design, setback, signage, and accessibility.

In general, the present development along Sunnymead Boulevard has occurred under less





stringent County provisions. As a result, improving standards for development along the boulevard has become a major issue. The City has the opportunity to create a set of guidelines and standards to insure that the quality and design of development meets the goals of City image, identity, serviceability, and land use compatibility.

## 6. Pedestrian Orientation

At present, pedestrian orientation and mobility is a problem along Sunnymead Boulevard. The current conditions focus on the accessibility of auto traffic pulling into and out of driveways situated in front of businesses along the boulevard. Emphasis was not placed on pedestrian traffic between businesses along the boulevard. As a consequence, opportunities for synergistic marketing to occur between businesses such as occurs within a regional mall do not exist along the corridor.

As further development takes place along Sunnymead Boulevard, the opportunity to coordinate pedestrian walks and corridors, and to create plazas, and other similar areas will occur. The use of such pedestrian facilities would not only act as a physical link between the different land uses, encouraging additional commercial activities, but would also create a sense of continuity along the entire boulevard.

## 7. Identity

Past development along Sunnymead Boulevard has lacked a sense of purpose or identity. This was largely due to the lack of land use criteria for development while under County jurisdiction and the large number of uses permitted under the present CPS zoning. As a result, present land development has been sporadic, containing a mix of small parcels supporting various non-related land uses. The relationship of unrelated land uses hinders the proper operation of each use, and in many cases, has provided direct conflicts which negatively affect the health and safety of citizens.

The opportunity lies in the fact that a large portion of land along Sunnymead Boulevard remains vacant. In addition, many of the existing developed land uses are underdeveloped, have aged to the point of that eventual demolition may be feasible, or have outlived their prime economic utility on Sunnymead Boulevard.

The future construction of a regional shopping mall at the west end of the boulevard is another significant opportunity. The identity of Sunnymead Boulevard should display an intensity that is also complimentary with the proposed mall and is capable of capturing the secondary activity generated by the mall.



## 8. Freeway Frontage

Freeway frontage is an important issue for Moreno Valley as it provides an impression on the thousands of motorists passing through the City on State Route 60. The Sunnymead Boulevard commercial corridor provides two miles of southern freeway frontage along State Route 60 between the Frederick Street exit and the Perris Street exit. Although the actual boulevard does not abut State Route 60, commercial and office developments along the Sunnymead Boulevard corridor back onto the freeway.

Commercial properties that abut the freeway are, on the one hand, subject to visual, traffic noise, and auto emission impacts; however, their freeway visibility offers potentially valuable market opportunities. The City of Moreno Valley and the local business community have the opportunity to provide an aesthetically pleasing freeway frontage corridor along the boulevard while simultaneously sparking the interest of passers-by on State Route 60, and possibly enticing them to notice the quality development fronting the freeway and exit at one of the three exits to engage in the various retail and service oriented commercial activities along Sunnymead Boulevard.

## B. OBJECTIVES, POLICIES, AND IMPLEMENTATION MEASURES

The following objectives, policies, and implementation measures represent current policy direction for the Sunnymead Boulevard corridor.

### 1. Objectives

- a. Attain a fiscally strong mixture of land uses which are sensitive to the present and future citywide land use structure, municipal revenue needs, and short-term and long-term opportunities along Sunnymead Boulevard.
- b. Maximize the economic position of Sunnymead Boulevard commercial activities, capturing neighborhood, community, and regional demand.
- c. Ensure the gradual replacement of older obsolete land uses on those small parcels of land functioning at less than their market potential.
- d. Reconfigure elongated parcels, reduce the number of access points along the Sunnymead Boulevard corridor, and improve access to parcels along the boulevard.





- e. Develop a streetscape system which promotes contemporary landscape treatments throughout the corridor, particularly those that are drought resistant, require little maintenance, and are able to withstand high winds and urban conditions.
- f. Develop a circulation system which facilitates efficient and safe vehicular and pedestrian traffic, and which enhances the visual quality of Sunnymead Boulevard.
- g. Preserve views of prominent land forms, mountains, and natural features, wherever possible, from existing residential neighborhoods.

## 2. Policies

- a. Promote distinctive, high image/value commercial clusters at key nodes such as those at the westerly city entry, and at Heacock and Perris.
- b. Permit nonconforming uses to continue as per current City policies and regulations.

- c. Require master planning at key sites within the Sunnymead Boulevard corridor where necessary to assure integrated development utilizing coordinated access, parking, building orientation/locations, and transit facilities.
- d. Where possible and desirable, require consolidation of access points and creation of reciprocal access agreements between adjacent parcels as part of new developments within the corridor.
- e. Require the provision of pedestrian-oriented amenities and circulation features within new Sunnymead Boulevard developments.
- f. Require the provision of transit facilities (bus turnouts, benches) at convenient pedestrian locations where appropriate.
- g. All buildings adjacent to the freeway shall be located and designed so as not to look as if their backs face the freeway.
- h. Open storage of materials and equipment may be permitted only when incidental to the permitted use,



provided that such storage area shall not face or be visible from the Pomona Freeway, Sunnymead Boulevard, or major north-south streets crossing Sunnymead Boulevard.

- i. Overhead doors, garages, or loading/work areas shall be placed and screened such that they are not visible from the freeway or Sunnymead Boulevard.
- j. All mechanical equipment shall be screened from public view.
- k. Not less than 15 feet of landscaping, measured from the freeway right-of-way, shall be provided and permanently maintained.
- l. No building constructed as a residential structure shall be used for any other purpose unless appropriately reconstructed as determined by the Architectural Review Committee.
- m. Promote building orientations which preserve views of natural features and land forms.

### 3. Implementation Measures

- a. Prepare redevelopment and additional specific plans for the Sunnymead Boulevard corridor, including such additional lands to the south as may be necessary to complete a development theme and achieve the appropriate role and function for Sunnymead Boulevard. These plans should, at a minimum, accomplish the following:
  - Establish an incentive/bonus program of lot consolidation for small, shallow, or narrow parcels along the corridor to encourage development into planned concentrations rather than a linear strip commercial configuration.
  - Initiate incentives to encourage the conversion of marginal land uses and underdeveloped parcels to higher value uses and to encourage redevelopment of key intersections with specialty commercial clusters.



- b. Develop an incentive system which rewards private developments for providing amenities over and above minimum requirements. Of particular interest are passive solar systems such as building overhangs, awnings, and extra tree plantings within parking areas. Consideration should also be given to the use of special paving materials in place of asphalt being used within parking areas.
- c. Develop and establish a program for implementation of a channelization program for a median along Sunnymead Boulevard.

## C. INFRASTRUCTURE

### 1. Water

Water service within the study area is provided by three separate water agencies: Eastern Municipal Water District (EMWD), Sunnymead Mutual Water Company, and Edgemont Gardens Mutual Water Company. EMWD is the primary water purveyor within the City of Moreno Valley and serves two portions of the study area. One area is located between Frederick Street and Graham Street, and the other area is between Indian Street and Kitching Street, excluding the south side of

Sunnymead Boulevard, half way between Indian Street and Perris Boulevard and extending to Indian Street. Current distribution lines vary in size from 8 inch to 12 inch to 16 inch within EMWDs jurisdiction along Sunnymead Boulevard.

Sunnymead Mutual Water Company is a smaller water company providing well water and/or water purchased from EMWD to portions of the study area. The service area includes the area along the north side of Sunnymead Boulevard between Graham Street and Heacock Street. Distribution lines serving this area are 8 inch in size.

Edgemont Gardens Mutual Water Company is another smaller water company. The service area includes the first row of frontage lots along the north side of Sunnymead Boulevard between Heacock Street and Indian Street. The service area also includes the south side of Sunnymead Boulevard, half way between Indian Street and Perris Boulevard and extending to Heacock Street. Distribution lines serving this area are 6 inches in size.

Development within the study area will not increase the water demands projected by EMWD. However, due to the situation of having three separate water agencies serving the study area, the possibility exists of inconsistent line sizing and water service, which could affect overall development of the study area. This issue needs to be addressed in the City's present General Plan





program and, if necessary, in the City's Capital Improvement Program.

## 2. Sewer

Sewage collection, treatment, and disposal services within the study area are under the jurisdiction of Eastern Municipal Water District (EMWD). EMWD's Sunnymead treatment plant has served the area since 1968, and is currently being expanded to accommodate the anticipated growth of the Moreno Valley area. Sewer mains of 12 to 21 inches in size currently serve the study area. Further development within the study area should not affect the present sewer line capacity any more than the current zoning allows for the area.

## 3. Electricity

Electricity is supplied to individual customers within the study area by Southern California Edison (SCE). Energy is delivered to the study area by SCE at two nearby substations. A local network of overhead and underground service lines emanates from the two substations and distributes 33KV to SCE customers.

According to SCE, they will be able to meet all electrical requirements within the study area at buildout.

## 4. Natural Gas

The study area is currently served by the Southern California Gas Company. The Gas Company maintains 8-inch and 12-inch distribution supply line passing through the study area within Indian Street. This major natural gas line is considered to be a "high-pressure" line, meaning that it contains over 60 pounds per square inch (psi). A system of smaller gas distribution lines serves SCG customers within the study area.

Natural gas distribution facilities are presently sufficient for further development of the study area, and no major gas line construction is anticipated in the foreseeable future.

## 5. Telephone

Telephone service is currently provided by General Telephone Company of California. Existing service lines are both aerial and underground. The majority of the service lines have been installed underground with the exception of the area between Heacock Street and Indian Street, and a small portion near Sunnymead Boulevard and Kitching Street.

According to General Telephone Company, all remaining aerial service lines are currently planned for underground burial through 1988, at which time telephone service lines will complete



to serve anticipated customers within the study area.

## 6. Traffic

Sunnymead Boulevard currently serves as the traditional commercial corridor of Moreno Valley. Average Daily Traffic volumes were taken along Sunnymead Boulevard in March, April, and May of 1986 indicate the following volumes:

### SUNNYMEAD BOULEVARD TRAFFIC VOLUMES

<u>From</u>	<u>To</u>	<u>Total</u>
Frederick St.	Heacock St.	11,366
Heacock St.	Freeway Off-Ramp	15,382
Freeway Off-Ramp	Perris Blvd.	20,092
Perris Blvd.	Kitching St.	2,175





The traffic volumes along Sunnymead Boulevard are approaching the boulevard's maximum design capacity. As business activity increases within the study area, and as Citywide development continues, it is estimated that traffic volumes will nearly triple from their present levels. In addition, the large number of narrow parcels with individual access points along the boulevard will result in increased uncontrolled traffic movements onto and from the boulevard. This will become a capacity constraint, and could become a safety problem.

The City currently owns a 100 feet wide right-of-way along Sunnymead Boulevard. However, increasing the carrying capacity through street widening is constrained in many areas. Other methods which may be employed to solve present traffic problems and avoid future ones include establishment of new signalized intersections when warranted, signal coordination, semi-actuated signals, lane restriping, establishment of transition lanes where feasible, and limiting access to the roadway (as would partly occur through master planning and consolidation of small narrow parcels).

One significant means of increasing the boulevard's carrying capacity would be constructing a raised median. This would allow higher operating speeds, better control of conflicting traffic movements, and improved levels of service. In addition, more efficient timing of

traffic signals would be possible. Constructing a median and providing designated, protected turn locations will give motorists a greater sense of safety, and could reduce the number of traffic accidents. Pedestrian-vehicular accidents could also be reduced.



# LAND USE AND DEVELOPMENT STANDARDS



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### III. LAND USE STANDARDS

#### A. APPLICABILITY OF LAND USE STANDARDS

To the extent that these land use standards are inconsistent with, or are by their content specifically intended to replace other ordinances and regulations of the City, these provisions shall be controlling; otherwise, all other ordinances and regulations shall remain in effect.

#### B. PROCESSING PROCEDURES

Where required herein, proposed uses and alterations of structures within the Sunnymead Boulevard Specific Plan area shall be subject to the issuance of a Conditional Use Permit or shall be approved by the Director of Developmental Services.

##### 1. Conditional Use Permits

The following development requests shall first require that a Conditional Use Permit be obtained, subject to all applicable provisions relating to conditional use permits and in accordance with the procedures set forth in the City's Land Use Ordinances. The requests include:

- Uses requiring establishment of new proposed structures;
- Uses requiring major expansion of an existing structure, exceeding fifty (50) percent of the existing floor area;
- Uses requiring a substantial increase in the intensity of an existing use, as determined by the Director of Developmental Services, over and above previous levels of intensity; or
- Establishment of any new use which is greater in intensity than the previous existing use it is replacing, as determined by the Director of Developmental Services.

##### a. Application

Where a new structure or major alteration to an existing structure is proposed, the following information shall be submitted in addition to the information requirements for Conditional Use Permits contained in the City Zoning Ordinance:





- Proposed building elevations, materials, colors, textures; landscaping; signs; and walls or fences.

## 2. Development Permits

The following development requests shall first require that a Development Permit be granted by the Director of Developmental Services following review by the Architectural Review Committee. The decision of the Director of Developmental Services may be appealed to the Planning Commission in the manner prescribed by ordinance for Plot Plans. Any development Permit which is granted will be subject to any conditions necessary to protect the health, safety, and general welfare of the community. The requests include:

- Uses requiring minor alteration, refurbishment, or restoration of existing structures, as determined by the Director of Developmental Services.
- Uses requiring minor expansion of an existing structure, up to fifty (50) percent of its original floor area, as determined by the Director of Developmental Services.

### a. Application

Applications for consideration of a Development Permit shall be made to the Director

of Developmental Services on the forms provided by the Current Planning Department, and shall be accompanied by applicable fees as established by the City. Applications shall include such information and documents as may be required by the Director of Developmental Services, in addition to the following:

- \* Name and address of the applicant and all persons that own any part of the subject property, including evidence that all owners agree to the application;
- \* Location or address, and legal description of subject property;
- \* Proposed use;
- \* A plot plan, drawn to scale, that shows the following:
  - Boundary and dimensions of property.
  - Topography of the property.
  - Location of adjacent streets, drainage, structures, utilities, buildings, signs, and other features that may affect the use of property.
  - Proposed development including planned alterations to buildings and structures; access; drainage; yards; parking areas;



building elevations, materials, colors, textures; landscaping; signs; and walls or fences.

### 3. Requirements for Approval

No Conditional Use Permit or Development Permit shall be approved unless the following standards are met:

- \* The proposed use conforms to all the requirements of the Moreno Valley General Plan, the Sunnymead Boulevard Specific Plan and related ordinances, all applicable requirements of State law and Moreno Valley ordinances, and all applicable development and design guidelines adopted by the City of Moreno Valley.
- \* The overall development or use is designed for the protection of the public health, safety, and general welfare; to conform to the logical development of land; and to be compatible with the present and future logical development of surrounding properties.

### B. LAND USE TYPES

The Sunnymead Boulevard corridor currently comprises an area of mixed uses and activities. This area contains the City's initial commercial core and some of the original residential neighborhoods.

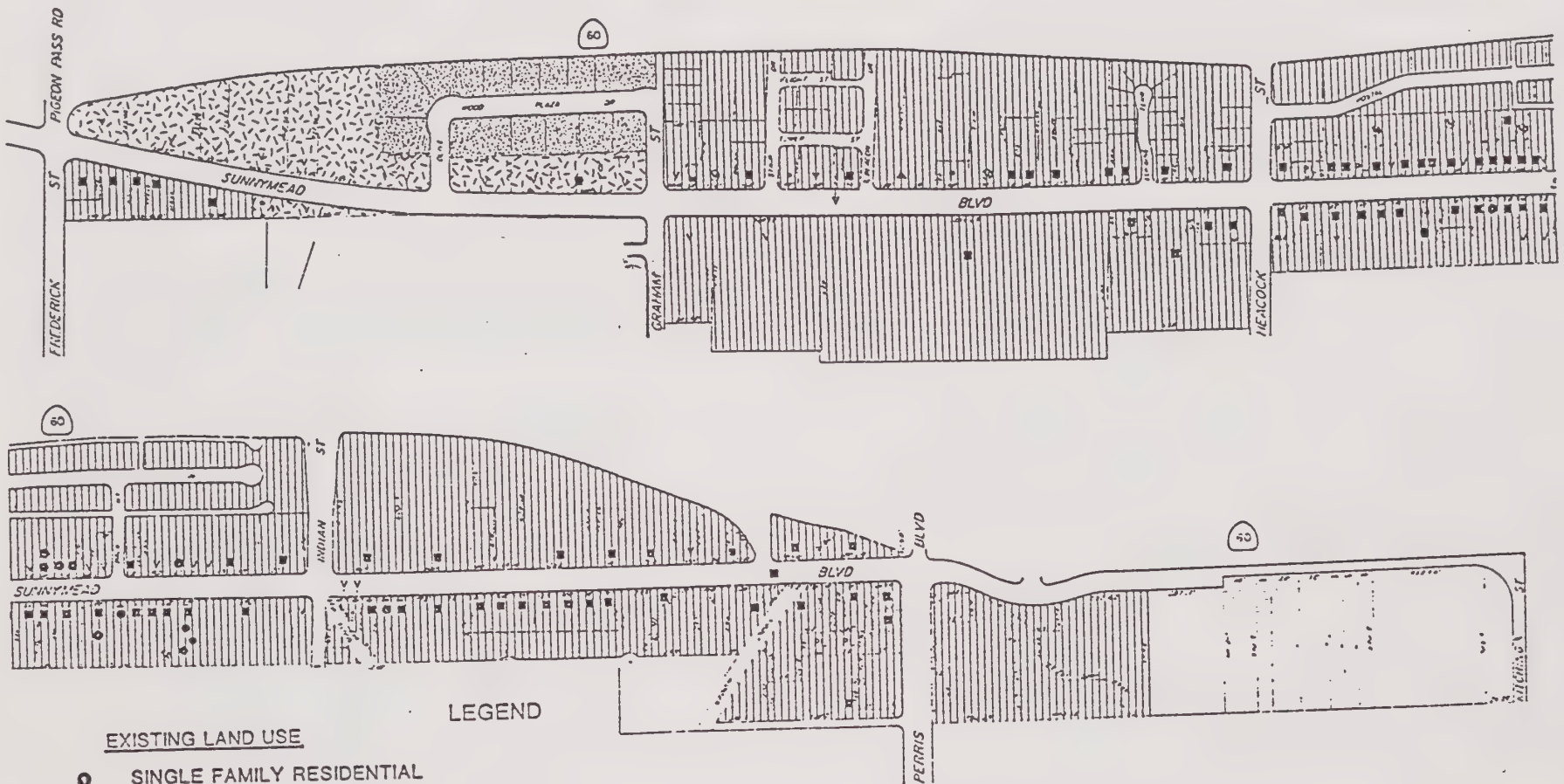
The specific plan for Sunnymead Boulevard envisions three general land use types. Each land use type will be unique in character and parcel configuration and each will emphasize a different aspect of the corridor's commercial development. The proposed land use designations and configurations are intended to anticipate development demands and achieve the optimum potential within the identified design concept. The basic land use types are described below.

#### 1. Regional/Highway - Related Commercial

The Regional/Highway - Related Commercial designation serves as a transitional land use function from the proposed regional shopping center and regionally oriented commercial uses proposed on the present raceway site. Primarily oriented to traffic and activity created by the regional mall at the Pigeon Pass interchange, this land use designation is designed to accommodate uses such as hotel/motel complexes, restaurants, eating and drinking establishments, commercial recreation uses, and other freeway related







#### EXISTING LAND USE

- SINGLE FAMILY RESIDENTIAL
- ⊙ MULTIPLE FAMILY RESIDENTIAL
- COMMERCIAL
- ▲ INDUSTRIAL
- V VACANT
- PL PARKING LOT
- P PUBLIC FACILITY

#### LEGEND

#### PLANNED LAND USE

- ▨ RESIDENTIAL
- ▨ OFFICE
- ▨ COMMUNITY COMMERCIAL
- ▨ REGIONAL/HIGHWAY - ORIENTED COMMERCIAL



LAND USE PLAN



CITY of MORENO VALLEY



commercial activities, including limited automobile services.

The intent of the Regional/Highway - Related Commercial land use is to create a variety of uses which will promote daytime and evening activity by visitors to Moreno Valley as well as residents of the City.

Subject to the provisions of Section III-B, Processing Procedures, the following are permitted uses within areas designated Regional/Highway - Related Commercial:

\* Retail Commercial Uses and Commercial Services which include the following:

- Antique shops
- Apparel stores
- Appliance stores
- Art, music, photographic studios and supplies
- Art galleries
- Automobile service stations
- Automobile parts and supplies<sup>1</sup>
- Bakeries (baking of items for sale on premises only)
- Barber/beauty shops
- Bar, tavern, cocktail lounge
- Bicycle shops
- Bed & breakfast inns
- Book, gift, stationary stores
- Cafes (with outdoor seating)

- Candy and confectioneries sales
- China and glassware shops
- Cigar stores and smoke shops
- Cleaning and pressing establishments (without bulk cleaning)
- Delicatessens and specialty food stores
- Drug stores and pharmacies
- Florist shops
- Furniture stores
- Health clubs (including outdoor recreation facilities such as pools, spas, tennis courts)
- Jewelry stores
- Liquor stores
- Newspaper & magazine stores
- Restaurants:
  - a. sit down
  - b. fast food (w/ drive-in facilities)<sup>2</sup>
  - c. with entertainment and/or serving of alcoholic beverages
- Television, radio, VCR, stereo component sales

1 -----  
Automobile parts and supply outlets may contain ancillary installation facilities only if service bays are not visible from the Pomona Freeway, Sunnymead Boulevard, or major cross streets.

2  
Fast food restaurants may be permitted only if a finding is made that the parcel on which it is to be located cannot be used for a full service restaurant.



- \* Office, Administrative, Professional, and Institutional Uses which include the following:

- Banks and Savings & loans
- Bank teller machines
- Child day care centers
- Travel agencies
- Medical, dental and related health services
- Clinics
- Public utility service offices
- Private and public clubs and lodges, including YMCA, YWCA and similar youth group uses.

- \* Hotel/Motel Uses which include the following:

- Hotel/Motel facilities
- Ancillary uses:

Beauty/Barber shops  
Cafes (with outdoor seating)  
Catering services  
Cocktail lounge  
Florist shops  
Gift shops  
Newspaper, magazine shops  
Restaurants  
Tourist information  
Travel agencies

## 2. Community Commercial

The Community Commercial designation is intended to encourage maximum flexibility for a variety of commercial developments which will provide community-level goods and services. Such developments are typically designed to service several neighborhoods of the immediate and with a supermarket, drug store, and associated multi-surrounding area. These would include commercial centers tenant shops and services; freestanding retail locations; commercial services, including automotive services; and restaurants, including fast food facilities.

Subject to the provisions of Section III-B, Processing Procedures, the following are permitted uses within areas designated Community Commercial:

- \* Retail Commercial Uses and Commercial Services which include the following:

- Antique shops
- Apparel stores
- Appliance stores
- Art, music, photographic studios and supplies
- Art galleries
- Auto service station
- Auto Services
  - a. repairs (major engine work, muffler shops, painting, body work, upholstery)





- b. coin-op washing
  - c. automatic washing
  - d. parts and supplies
- Bakeries (baking of items for sale on premises only)
- Barber/beauty shops
- Bicycle shops
- Blueprint and photocopy services
- Book, gift, stationary stores
- Bowling alleys
- Business and office services
- Candy and confectioneries
- Carpet and rug sales and installations
- Catering establishments
- China and glassware shops
- Cigar stores and smoke shops
- Cleaning and pressing establishments (without bulk cleaning)
- Cleaning and laundering establishments and laundries, self-service or coin-operated
- Cocktail lounges
- Delicatessens and specialty food stores
- Drug stores and pharmacies
- Florist shops
- Furniture repair and upholstery shops
- Furniture stores
- Hardware stores and home improvement centers
- Health clubs (including outdoor recreation facilities such as pools, spas, tennis courts)
- Hobby shops

- Janitorial services and supplies
- Jewelry stores
- Liquor stores
- Locksmiths
- Messenger services
- Motorcycle sales and ancillary services
- Newspaper & magazine stores
- Office and business machine/computer stores
- Paint, glass, and wallpaper stores
- Pet shops
- Restaurants
  - a. sit down
  - b. fast food (w/ drive-in facilities)
  - c. with entertainment and/or serving of alcoholic beverages
  - d. incidental serving of beer and wine but without a cocktail lounge, bar, entertainment or dancing
- Schools, private (trade, vocational)
- Sporting goods stores
- Stationary stores
- Supermarkets
- Swimming pool services and sales
- Tailor shops
- Tire sales and service
- Television, radio, VCR, stereo component sales
- Toy stores
- Variety stores



- Veterinarian's offices and small animal hospitals<sup>1</sup>
- Watch and clock repair shops
- Wholesale business establishments without warehousing or distribution<sup>2</sup>
- Yardage goods stores

\* Office, Administrative, Professional, and Institutional Uses which include the following:

- Administrative, business, and professional offices
- Banks and Savings & loans
- Bank teller machines
- General offices
- Travel agencies
- Medical, dental and related health services
- Clinics
- Child day care facilities
- Libraries or cultural museums
- Public utility service offices
- Private and public clubs and lodges, including YMCA, YWCA and similar youth group uses

\* Hotel Uses which may include the following:

- Hotel/Motel Facilities
- Ancillary uses:

Beauty/Barber shops

Cafes (with outdoor seating)  
 Catering services  
 Cocktail lounge  
 Conference/convention facilities  
 Florist shops  
 Gift shops  
 Newspaper, magazine shops  
 Pharmacies  
 Restaurants  
 Tourist information  
 Travel agencies

### 3. Office

The Office designation is intended to encourage areas of professional development both compatible and beneficial to the other land uses

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<sup>1</sup> Veterinarian's offices and small animal hospitals, including short-term boarding of animals and incidental care such as bathing, and trimming, may be permitted only if all operations are conducted within a building which is completely enclosed, sound-proofed, and air conditioned.

<sup>2</sup> Wholesale businesses shall only include warehouse facilities which are ancillary to the intended, primary, wholesale business. Large warehouse facilities where warehousing and storage constitutes the primary use of the structure shall not be allowed.





along Sunnymead Boulevard. Although the primary use of the Office commercial area will be administrative and professional offices, a number of ancillary uses, will be encouraged in order to provide a pleasant work environment. Permitted ancillary uses include financial institutions, restaurants, and business services.

Subject to the provisions of Section III-8, Processing Procedures, the following are permitted uses within areas designated Office:

\* Retail Commercial Uses and Commercial Services which include the following:

- Blueprint & Photocopy services
- Business and office services
- Delicatessens and specialty food stores
- Health clubs (including outdoor recreation facilities such as pools, spas, tennis courts)
- Messenger services
- Office and business machine/computer stores
- Restaurants
  - a. sit down
  - b. with entertainment and/or serving of alcoholic beverages
  - c. incidental serving of beer and wine but without a cocktail lounge, bar, entertainment or dancing.
- Schools, private (trade, vocational)
- Stationary stores

\* Office, Administrative, Professional, and Institutional Uses which include the following:

- Administrative, business, and professional offices
- Banks and Savings & loans
- Bank teller machines
- General offices
- Travel agencies
- Medical, dental and related health services
- Clinics
- Child day care facilities
- Libraries or cultural museums
- Public utility service offices
- Private and public clubs and lodges, including YMCA, YWCA and similar youth group uses

\* Hotel Uses which include the following:

- Hotel/Motel Facilities
- Ancillary uses
  - Beauty/Barber shops
  - Cafes (with outdoor seating)
  - Catering services
  - Cocktail lounge
  - Conference/convention facilities
  - Florist shops
  - Gift shops
  - Newspaper, magazine shops



Pharmacies  
Restaurants  
Tourist information  
Travel agencies

## C. DEVELOPMENT STANDARDS

### 1. Setbacks and Buffer Between Uses

No open parking area or parallel drive shall be located closer than fifteen (15) feet from a public street right-of-way. The 15' buffer shall be in landscaping.

No structure shall be located closer than five (5) feet to a private parallel drive.

Structures shall be set back an average of twenty-seven (27) feet from the ultimate street right-of-way line (45 feet from the ultimate curb face). The minimum building setback shall be twelve (12) feet from the ultimate street right-of-way line (30 feet from the ultimate curb face). Structures shall be staggered wherever possible to provide variety and visual interest to the streetscape. On parcels containing only one (1) structure, a 40 foot setback from the ultimate curb face shall be maintained.

Zero setbacks may be permitted along interior lot lines if comparable with the design concepts of the plan.

The design of setback areas shall create a unified streetscape concept which will be established through the planning area.

On existing lots of record, parcels less than 150 feet in depth need not provide a setback or landscaping greater than 20 percent of the depth of the property, excluding street right-of-way area).

### 2. Building Orientation and Compatibility

Placement of buildings shall be done in a manner sensitive to existing views of mountains or other prominent land forms or natural features.

A finding shall be made by the appropriate approving body stating that the proposed project is compatible with and sensitive to the immediate environment of the site and surrounding neighborhoods. "Compatibility" shall include architectural design, scale, bulk, and orientation of the project.

### 3. Building Height and Mass

Building height maximums and minimums shall be based on an analysis of land use spatial relationships. These spatial relationships shall include both horizontal and vertical scales as applied to compatibility issues and visual aesthetics.



#### 4. Trash Areas

All trash will be retained in central locations in conformance with City standards. These locations shall be completely enclosed to height of six (6) feet with a wall that is architecturally compatible with the structures being served. Gates shall be made of solid materials; supports and frames shall be of metal. Interior stops shall be provided, with the approach and landing to the trash area not to exceed a slope of one percent. The trash area shall be on a concrete slab with a minimum of one percent slope for drainage. The area shall be designed along a trash pickup route and within fifteen (15) feet of a hose bib.

To reduce litter and increase aesthetic value, permanently placed litter containers, architecturally designed to blend with surrounding buildings and amenities, will be placed as required by the City.

#### 5. Storage

No outdoor storage shall be permitted in order to reduce perceived clutter within the areas along the Boulevard.

#### 6. Utilities

To ensure a more pleasing environment, the following shall apply:

- o All on-site utility lines shall be placed underground.
- o All off-site utility lines adjacent to the site under 12 KW shall be placed underground.
- o All above-ground utility equipment shall be properly screened within the architectural element of the building.
- o No utility lines, pipes or boxes shall run along the exterior service of the structure.

#### D. SIGNAGE

##### 1. Introduction

The Sunnymead Boulevard signage guidelines embody a comprehensive system of signage, both permanent and temporary, which is planned and designed as a balanced and responsive part of the community.

The effective regulation of signage is an important factor in the success of a community's development. Guidelines which restrict excessive signage and provide signage as a design element will contribute to the character of the community. The intent of these guidelines is to define standards and criteria which will generate balanced and effective signage. Specifically, these guidelines propose to:





- o Establish design standards which will result in a continuity between all signage types and which result in a unified statement consistent with the development and architecture along Sunnymead Boulevard.
- o Provide signage opportunities for both temporary and permanent signs which will ensure the direct identity and marketability of the area as a major commercial spine.
- o Provide a unified design approach for signage which contributes to a sense of place and which provides an identifiable design element.
- o Provide standards and specifications to control the application of signage so that a balance is struck between commercial and aesthetic interests, and the environmental and architectural features of the area enhanced.

## 2. Definitions

Copy Area: The area of a sign, exclusive of margins, in which copy may be placed. The copy area of signs attached to garden, retaining or building walls may, in some cases, be identical to the sign face area.

Fascia Sign: A building wall sign located above pedestrian level. The face of the sign is parallel to the fascia.

Ground Sign: Any sign supported wholly by uprights, braces, or poles or upon the ground.

Monument Sign: A freestanding ground sign.

Pole Sign: A ground sign supported by poles which are not concealed.

Sign Face Area: The area of a sign, including margins, potentially available for display of copy and graphics. The sign face area of signage attached to garden, retaining, or building walls shall include only the area of the wall which is devoted to the attached signage.

Site Entrance: The principal automobile access to any site intended for use by the general public. For the purpose of determining quantities of Project Identification Signs, this definition does not include service entrances or exits.

Temporary Sign: Any sign which is installed or displayed for a fixed or limited period of time.



Wall Sign: Wall signs include (1) any sign affixed to a building wall, and (2) letters and figures affixed to a free-standing garden or retaining wall.

### 3. Administration

#### a. Director Review -- Requirement.

Director review shall be required prior to the placing, erecting, moving, or reconstructing of any sign in the city. Signs requiring director review shall comply with the provisions of this section and all other applicable laws and ordinances.

#### b. Director Review -- Method of Application.

An application for director review shall be made on forms as prescribed by the Director of Developmental Services. Such an application shall be filed with the Planning Department with applicable plans set forth by the planning division. The application shall be accompanied by any fees or bonds as may be specified by City Council resolution.

#### c. Director Review -- Method of Review.

The purpose of Director Review is to help insure compliance with the provisions of this document. After receipt of a sign application,

the Director of Developmental Services or a designated representative, shall render a decision to approve, approve with modification, or deny such sign request within fifteen working days. Such a review shall insure that any sign proposal is in conformance with this section and is consistent with its intent and purpose.

#### d. Director of Developmental Services.

It is the duty of the Director of Developmental Services to enforce all provisions of this section. The Director of Developmental Services has the authority under this section to designate a representative of the department to implement the provisions of this title. Further, the Director of Developmental Services has the option of referring any sign request to the Planning Commission for their review and approval.

#### e. Interpretation of Provisions.

- o The provisions of this section are not intended to abrogate any easements, covenants, or other existing agreements which are more restrictive than the provisions of this section.
- o Whenever the application of this title is uncertain due to ambiguity of its provisions, the question shall be referred



to the planning commission for determination. The planning commission shall then authorize signing which best fulfills the intent of this section.

- o If any section, subsection, sentence, clause, phrase, or portion of this title is for any reason held invalid or unconstitutional by any court of proper jurisdiction, such portion shall be deemed a separate, distinct and independent provision and such holdings shall not affect the validity of the remaining portions hereof.

f. Appeal.

A decision of the Director of Developmental Services may be appealed within ten (10) days of such decision to the Planning Commission. Such appeal shall be made on the forms prescribed by the department of developmental services and fees paid in accordance with the fee resolution. The submission of the application and fees shall constitute the filing of the appeal. The Planning Commission shall review such appeal at a regularly scheduled meeting according to the schedule of meetings and deadlines for submission of applications. The Planning Commission shall

either uphold, reverse, or modify the Director's decision. If anyone is aggrieved or affected by the decision of the Planning Commission, then they may appeal such decision to the City Council within ten (10) days from the decision of the Planning Commission. The appeal shall be submitted in accordance with the above appeal provisions. The City Council shall review such appeal and either uphold, reverse, or modify the Planning Commission decision.

4. Temporary Signs

Temporary signs shall be ground type only. No temporary building wall signs shall be allowed.

All temporary signs shall be approved for a specific period of time, with permits renewable annually thereafter. Extensions of the initial time period are subject to approval of the City. The following schedule shall apply:

- o Standard Temporary Sign Format

Sign shall be boxed configurations, enclosed on all four sides for both single and double-faced signs. Temporary signs in or abutting commercial areas shall be closed on the top also.

- o Specific Criteria for Sign Types

In addition to the standard temporary sign format criteria, temporary signs shall also conform to the criteria and restrictions specified







CITY of MORENO VALLEY



for individual sign types. These criteria include dimensions, designations, typical locations and copy restrictions.

o Future Facilities Signs

Future facilities signs shall be allowed in all use areas as needed to identify sites of proposed facilities. One sign shall be allowed per street frontage of 500 feet or less. Two signs shall be allowed if the frontage exceeds 500 feet. The signs shall be placed behind building setbacks facing the public right-of-way. Future facilities signs shall be single-faced signs limited to 14 feet in height and 80 square feet in area. Copy shall consist of the identification of the proposed facility, a brief description of the project and the expected completion date. All signs shall adhere to the standard temporary sign format.

o Project Construction Signs

Project construction signs shall be allowed in all use areas. Signs shall be located behind property lines in setback areas. Under no circumstances shall any project construction sign be oriented toward the freeway. One shall be allowed per street frontage. No more than one project construction sign may exist on a project frontage at any one time. Signs shall not exceed 16 feet in height and 120 square feet in area and may be single or double-faced. Copy

shall be limited to: project name, project description, rendering, type of transaction (For Sale, For Rent, For Lease), leasing agents, name of company, contract name, phone number, name of developer, names of contractors and consultants, lender. No individual contractor's or subcontractor's signs shall be displayed on any site; however, contractor's and subcontractor's names may be displayed on project construction signs.

o Real Estate Signs (Commercial)

Real estate signs in commercial area may be single or double-faced and shall be oriented to principal streets. No more than one real estate sign may exist on a project frontage at any one time. Signs shall have a maximum sign face area of 40 square feet and shall not exceed ten (10) feet in overall height. Copy shall be limited to the type of transaction, product description, name or real estate agent and company and a phone number. No individual broker's signs shall be printed on any site.

o Project Marketing Signs (Commercial)

A maximum of one (1) Project Marketing Sign shall be allowed per frontage of any commercial or industrial site. Signs may be single or double-faced and shall not exceed 80 square feet in sign face area. Copy shall be limited to: project name, project description, type of transaction,



leasing agent(s), name of company, contract name, phone number and name of developer.

## 5. Traffic and Street Signs

Traffic signs and street fixtures which are located in the public rights-of-way are a part of the permanent community-wide signage for Sunnymead Boulevard. The signs and fixtures should be treated in a unique and consistent manner and designed to create a distinct streetscape identifiable as Sunnymead Boulevard. The guidelines for traffic signals will require City Engineer review and approval.

Note: No more than one of the following three sign types shall be allowed per frontage of a project at any one time: project construction signs, real estate signs and project marketing signs.

### a. Street Name Signs

#### o Freestanding Street Name Signs at Intersections

One or two freestanding street name signs shall be placed at each non-signalized intersection. The signs shall be designated as part of the design element of the streetscape.

Freestanding signs shall be double-faced, ground type, with an overall approximate height of

ten (10) feet and ground clearance of approximately nine (9) feet. Copy shall include the street name and the ascending street address number, using Friz Quadrata type style. The configuration of the street sign shall be an inverted "L". Internal illumination shall be by a warm, incandescent low-voltage light source.

#### o Street Name Signs attached to Mast Arms on Signal Posts

Hanging street name signs shall be double-faced, 18 inches high either six or eight feet in length, and shall hang from the mast arms of the signal poles. Quantities and locations shall be as specified by the City of Moreno Valley Traffic Engineer. All such signs shall be illuminated. Copy shall include the street name and the ascending street and the ascending street address number in Friz Quadrata type style, upper and lower case.

Signs shall consist of a white letterface on a dark, opaque background coated to match the signal pole. The standard cabinet will be used but will be painted to match the sign face background. Illumination shall be by the internal fluorescent fixture. Lighting intensity and color shall be as specified by the City of Moreno Valley Traffic Engineer.





b. Street Lights

Special treatments for street lights, including custom light heads and pole finishes, may be established in accordance with the design elements specified within this manual.

c. Traffic Regulatory and Informational Signs

Traffic Regulatory Signs shall appear as an integrated group of signs. All traffic regulatory signs are included: Parking, Warning, Speed Limit, Caution, Yield, and Stop signs, as well as Bus Stop and other informational signs. The signs shall be placed in public rights-of-way as required for traffic safety.

These signs shall be single-faced ground type, with the exception of No Parking signs, which may be mounted on street light poles. Quantities, locations, copy images, colors, shapes and sizes shall be as approved by the City Traffic Engineer. Where a choice of graphics is available, symbols will be selected in lieu of worded messages.

Materials and finishes shall be consistent throughout the group of signs. Sign poles shall be dark bronze, weather-resistant, aluminum poles with radius beams. Sign faces shall have reflective lettering or backgrounds, stainless steel or aluminum hardware, and recessed Allen

fittings. When No Parking signs are mounted on street light poles, there shall be no exposed fasteners or other visible means of attachment. Sign backs and edges shall be painted a deep, rich color and finished with a weather and fade-resistant coating.

d. Traffic Signals and Signs on Traffic Signal Poles

o Traffic Signals

Signals shall appear as part of the streetscape. Acceptable treatment includes metal poles with a dark brown weather-resistant coating. Where street lighting is to be provided along with traffic signals, the street light head shall be incorporated.

o Traffic Regulatory Signs on Traffic Signal Poles

Traffic Regulatory Signs on traffic signal poles (U-turn and lane information, etc.) shall hang from the mast arm and shall be free-swinging to reduce wind load. Quantities, exact locations, and copy images shall be as determined by the Traffic Engineer. These signs shall be hollow, composed of plate aluminum finished with a weather-resistant coating. Black, white and red graphics shall be silkscreened on reflective Scotchlite. Symbol messages will be selected where options exist.



## 6. SIGN REGULATIONS

### Project Identification

SIGN CLASSIFICATION	SIGN TYPE	MAXIMUM NUMBER	MAXIMUM SIGN AREA	MAXIMUM HEIGHT	PLACEMENT AND LOCATION	MESSAGE AND LAYOUT	LETTER SIZE	FORM AND MATERIALS	COLOR	ILLUMINATION	REMARKS
A. Project Identification											
1. Commercial/Retail (multi-tenant complex)	Entry Wall	One per street frontage.	50 sq. ft.	4 feet (garden wall)	To be located at the project entrance or corner. Shall be incorporated with landscaping and berms.	Single face, containing the theme name of the center as the predominant feature.	NA	Shall relate to the architectural style of the project.	Shall relate to the architectural style of the project.	Individually lit channel letters or ground lighted.	A combination of entry wall and Monument signs may be used; however, only a maximum of three signs may be used per project.
	Monument	One per street frontage.	50 sq. ft.	6 feet	Minimum of twelve feet from ultimate curb face at project entrance. To be oriented perpendicular or parallel to the street.	Single- or double-faced, containing the theme name of the center as the predominant feature of the sign.	NA	Shall relate to the architectural style of the project.	Shall relate to the architectural style of the project.	Individually lit channel letters or ground lighted.	
2. Commercial/Office (multi-tenant complex)	Entry Wall	One per street frontage.	40 sq. ft.	4 feet (garden wall)	To be located at the project entrance or corner. Shall be incorporated with landscaping and berms.	Single face, containing the theme name of the center as the predominant feature.	NA	Shall relate to the architectural style of the project.	Shall relate to the architectural style of the project.	Individually lit channel letters or ground lighted.	A combination of entry wall and Monument signs may be used; however, only a maximum of three signs may be used per project.
	Monument	One per street frontage.	40 sq. ft.	6 feet	Minimum of twelve feet from ultimate curb face at project entrance. To be oriented perpendicular or parallel to the street.	Single- or double-faced, containing the theme name of the center as the predominant feature of the sign.	NA	Shall relate to the architectural style of the project.	Shall relate to the architectural style of the project.	Individually lit channel letters or ground lighted.	
3. Public Facilities	Entry Wall	One per street frontage.	32 sq. ft.	3 feet (garden wall)	To be located at the project entrance or corner. Shall be incorporated with landscaping and berms.	Single face, containing the theme name of the center as the predominant feature.	NA	Shall relate to the architectural style of the project.	Shall relate to the architectural style of the project.	Individually lit channel letters or ground lighted.	A combination of entry wall and Monument signs may be used; however, only a maximum of three signs may be used per project.
	Monument	One per street frontage.	32 sq. ft.	3 feet	Minimum of twelve feet from ultimate curb face at project entrance. To be oriented perpendicular or parallel to the street.	Single- or double-faced, containing the theme name of the center as the predominant feature of the sign.	NA	Shall relate to the architectural style of the project.	Shall relate to the architectural style of the project.	Individually lit channel letters or ground lighted.	



## Business Identification

SIGN CLASSIFICATION	SIGN TYPE	MAXIMUM NUMBER	MAXIMUM SIGN AREA	MAXIMUM HEIGHT	PLACEMENT AND LOCATION	MESSAGE AND LAYOUT	LETTER SIZE	FORM AND MATERIALS	COLOR	ILLUMINATION	REMARKS
<b>B. Business Identification</b>											
1. Commercial/Retail (Business not within a shopping center, single-tenant).	Building Wall	One per street frontage and/or main parking lot.	One (1) sq. ft. per each linear foot of building frontage, or 40 sq. ft., whichever is less.	May not project above roof line, and in no case may be higher than 20 feet above finished grade.	To be located below the roof line.	Business name and/or logo.	NA	Individual letters, metal channel/fibreglass.	Shall relate to the architecture of the building.	Individually lit channel letters, or back-lit silhouette.	A combination wall and monument signs may be used; however, only signs may be used per building.
	Monument	One per street frontage, with a maximum of two (2) per business.	24 sq. ft.	6 feet	Minimum of twelve feet from ultimate curb face at project entrance. To be oriented perpendicular or parallel to the street.	Single- or double-faced, containing the theme name of the tenant as the predominant feature of the sign.	NA	Individual letters, metal channel/fibreglass.	Shall relate to the architecture of the building.	Individually lit channel letters, or back-lit silhouette.	
2. Commercial/Retail (Business within a shopping center, multi-tenant).	Building Wall	One per business frontage.	Less than 20,000 sq. ft. leased floor area:	Not to project above the roof and in no case be higher than 20 feet from finished grade.	To be located below the roofline	Business name and/or logo	26" height maximum	Individual channel letters metal/fiberglass.	Shall relate to the architecture of the building.	Individual lit channel letters or backlit silhouette.	Building wall signs are limited to business identification only.  All shopping centers shall develop a coordinated sign program for all tenants uses.  Ground lit for monuments.
			- one (1) sq. ft. each linear foot of building frontage or 40 feet, whichever is less								
			20,000 to 40,000 sq. ft. leased floor area:								
			- 80 sq. ft.								
			Over 40,000 sq. ft. leased floor area:								





# Commercial/Office Identification

SIGN CLASSIFICATION	SIGN TYPE	MAXIMUM NUMBER	MAXIMUM SIGN AREA	MAXIMUM HEIGHT	PLACEMENT AND LOCATION	MESSAGE AND LAYOUT	LETTER SIZE	FORM AND MATERIALS	COLOR	ILLUMINATION	REMARKS
C. Commercial/Office Identification											
1. Commercial/Office (major tenant, for buildings where there are no individual tenant entries).	Building Wall (major tenant)	One per office frontage.	Building Wall signage shall not exceed 1-1/2 sq. ft. for each linear foot of street frontage.	Not to project above the roof and in no case be higher than 20 feet from finished grade.	To be located below the roofline.	Business name and/or logo  Business name and/or logo. Maximum of four (4) major tenants may be listed on each monument.	Lettering shall not exceed 24 inches in height or one-half the available vertical space of the building plane, whichever is less. Logos on walls shall be a maximum of 36 inches high or two-thirds the available vertical space on the building plane, whichever is less.	Individual channel letters, metal/fiberglass. Shall relate to the architecture of the office complex.	Letter returns shall be dark. Backlighting lettering shall be white.	Silhouette type backlighted, or individual lit channel letters.	All major tenant wall signs within a large office complex containing more than one major tenant shall be treated consistently with regard to color, lighting, spacing and materials.
	Ground Monument	One monument sign per building entrance.	20 sq. ft.	3 feet 6 inches							
2. Commercial Office (multiple professional tenants with individual building entries).	Building Wall	One per office entry.	4 sq. ft.	4 feet	To be located below the roofline.	Copy shall be limited to the suite number, the tenants logo and the tenants name.	N/A	Shall relate to the architecture of the office complex.			Consistency of color, materials, configurations, location and format shall be maintained for all multitenant identification signs within a multitenant office complex.
	Ground Monument	One per office entry.	5 sq. ft.	3 feet 6 inches	To be located at the office entrance.						



## Secondary Site Signs

SIGN CLASSIFICATION	SIGN TYPE	MAXIMUM NUMBER	MAXIMUM SIGN AREA	MAXIMUM HEIGHT	PLACEMENT AND LOCATION	MESSAGE AND LAYOUT	LETTER SIZE	FORM AND MATERIALS	COLOR	ILLUMINATION	REMARKS
D. Secondary Site Signs											
1. General; On-site Secondary signs	Building, wall, or planter mounted.	A maximum of two signs per building.	12 sq. ft.	4 feet	All signs shall be located on building walls or in planter or walkway areas.	- Entrance/exit - Directory - Maps - Information	N/A	Shall relate to the architecture of the center.		Shall relate to the architecture of the center.	N/A
-Project Entrance Signs											
-Directory maps and listings											
-Directory signs both pedestrian and automobile											
-Informational signs											
-Building entrance signs											
2. Address Signs	Wall	One per building.	N/A	N/A	On fascia below the roofline.	Address numbers only	7 inches	All monuments shall be sandblasted concrete with recessed and painted address numerals and painted reveal		Shall relate to the architecture of the center.	N/A
	Monument	One double-faced sign per entrance.	N/A	2 feet	Monument signs shall be located in setback areas on the property line 10 feet from the site entrance.	Type style for address shall be Friz Quadrata.					A consistent Sunnymead Boulevard address monument shall be provided which is comprised of consistent colors, materials, and textures. (See Page 38 ).
											Address numbers shall be incorporated into project identification, entry, wall and monument signs, wherever possible.



## 7. Sign Standards

### a. General

- o All permanent signs shall be made of durable, rust-inhibited materials.
- o No wall signs shall cover windows, frames, strips or other architectural details. Wall signs shall fit into open wall surfaces leaving ample margins.
- o No fascia signs shall be allowed on angled walls or mansard roofs, or on equipment screens.
- o No permanent ground signs or monument identification signs may exceed six (6) feet in height. Freestanding walls with signs attached may be stepped, if necessary, to elevate the sign. However, the height of the wall to which signage is attached shall not exceed the height prescribed for the area.
- o Within each commercial development, the lettering on all project and establishment identification signs shall be of similar and/or complementary type style. The type shall also complement the overall design of the sign structure.
- o Sign structures, supports and hardware shall be concealed or integrated into the signage design. Architectural screening surrounding sign posts shall not be calculated as part of the sign face area. No lighted signs or light fixtures shall have exposed conduits or raceways.
- o A uniform sign program shall be established for all multi tenant commercial/office projects.
- o Ground signs may be placed in building setbacks. Temporary signs, as well as permanent signs which are perpendicular to the street, shall be allowed up to and abutting the property line. Permanent signs which are parallel to the street shall be located a minimum of five (5) feet behind the property line.
- o Pole signs and other signs with exposed supports shall be prohibited.
- o Business identification wall and monument signs may be oriented





towards State Route 60 only if associated with hotel, motel, service station or restaurant land uses.

b. Address Signs

- o As part of the provisions for secondary site signs, address signage shall be building or site. Address signs may be on building walls near entries or corners. Addresses may be located on low monuments. Commercial facilities shall display at least one building address per street frontage.

c. Secondary Site Signs

- o Secondary site signs are not to be visible from the public right of way, with the exception of entrance signs, parking control signs, and address signs which should be oriented toward the public right of way.
- o All secondary site signs shall be located on walls or planter walls, or along walkway areas. Signs shall fit comfortable, never crowding the architectural and landscape elements in the immediate vicinity.

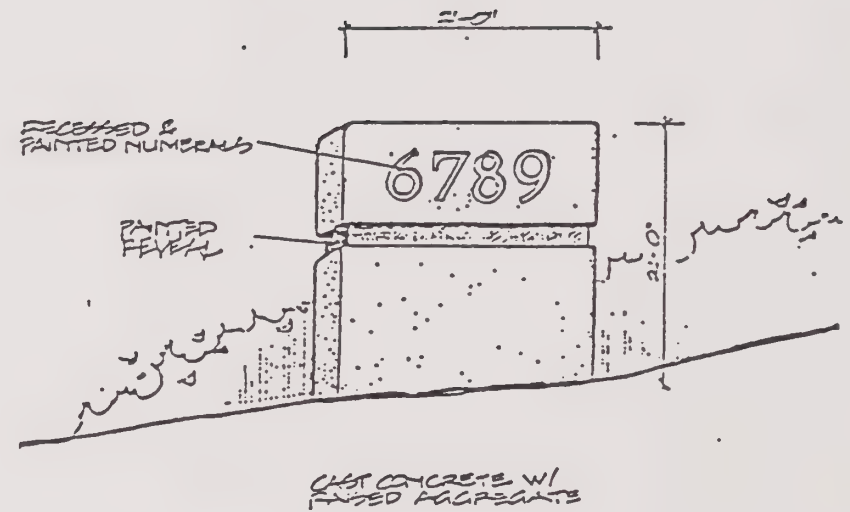
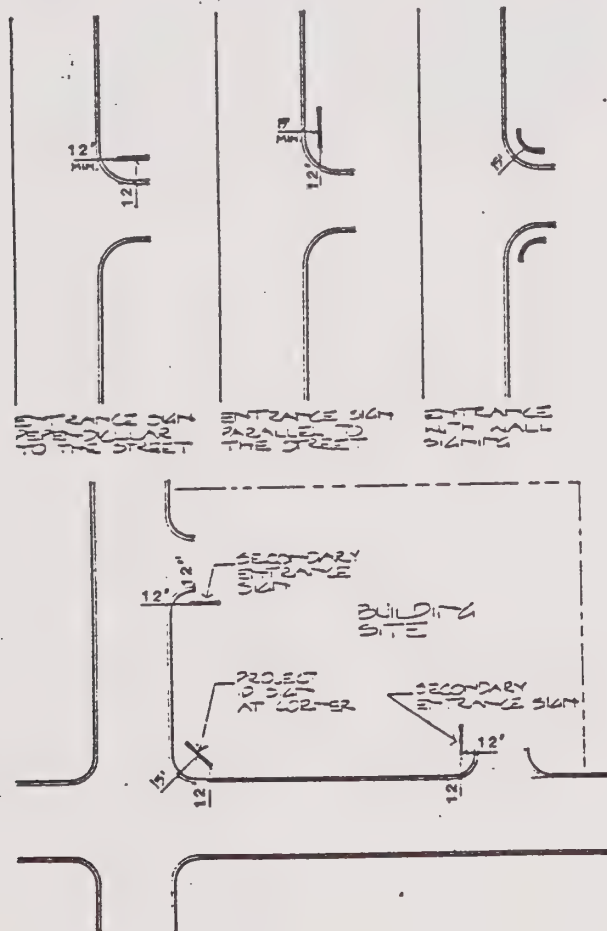
d. Commercial Signs

- o Within commercial areas, signage shall include signs for retail and office projects. The general provision for secondary site signs shall apply to all commercial areas.
- o No permanent ground signs in commercial areas may exceed six (6) feet in height. Ground signs for office projects shall be limited to four (4) feet in height.
- o Commercial monument signs may be erected within setback areas.
- o No pre-manufactured signs, such as franchise signs, which have not been modified to contain the overall intent and integrity of this criteria, shall be allowed in commercial areas.



monuments. All building fascia (wall) signs shall be similar in lighting, color, scale, placement and format.

Project Entrance Sign Configurations





- o Exterior tenant signage shall be designed with a consistent design theme. Consistency of design shall be maintained throughout these sign types: building wall signs, site entry monuments, and building entry monuments. All building fascia (wall) signs shall be similar in lighting, color, scale, placement and format.





# DESIGN GUIDELINES



CITY of MORENO VALLEY



#### IV. GENERAL COMMERCIAL DESIGN GUIDELINES

##### A. ARCHITECTURAL AND SITE PLANNING GUIDELINES

The purpose of these criteria is to ensure desirable product development that reinforces the desired community theme. These recurring elements combine to create a visual and spatial expression of the community. At the same time it provides for individual design solutions appropriate to each project.

Elements common to all projects are presented with desired methods for developing these specific items. The primary objective is that all projects be compatible while reinforcing community themes. All of the design criteria reflect site conditions for the City of Moreno Valley:

- o The relatively hot, dry climate is a special consideration. Shade becomes dominant design element for buildings and community pedestrian paths and gathering spaces.
- o The City is surrounded by mountainous and flat open spaces which create view opportunities. Featured community development such as the parks also create view amenities. Each site, with careful orientation, will capitalize on these views.

- o The hierarchy of different community users is another design objective. A clear distinction between private, residential uses; commercial properties; schools and churches; and recreation and leisure space is desired.
- o The desired imagery for the community will reflect the increasing densities and scale of development toward the community centers. The varied intensity of color, scale, landscaping frequency and space modulation will define different community elements and will intensify the experience.

The application of consistent architectural treatment and suggestion of styles will be dealt with in the following sections. It is desired that the commercial cores be of an architectural quality that will create a strong sense of place within the City of Moreno Valley.

##### 1. Design Styles

Due to the warm semi-arid nature of the Moreno Valley, the architectural style to be chosen should consist of hardy materials with sensible maintenance. The style should be simple



in form and materials, with a frugal use of detail so that undue hardship is not placed on the builder in the execution of his structures. The architectural style which best fulfills the above requirements is the traditional Spanish style of architecture. This style is simple in form and material, and is constructed of low maintenance materials. It displays a frugal use of detailing and is sunloving style or architecture. Within the Spanish style selected as acceptable for the City of Moreno Valley is the Spanish Colonial style.

The following sections will define the general character of the Spanish Colonial style. Once the general character of this style is established, the specific application to commercial structures will be addressed.

a. Spanish Colonial Style

The Spanish Colonial style has a diversity of historical roots and is an amalgamation of styles from several countries in the Mediterranean. The areas which contributed most to the development of this style were Spain, North Africa and Italy. It is not the purpose of these guidelines to present an exhaustive history of this style. The Spanish Colonial style is best represented by the downtown area of Santa Barbara, which was designed and built primarily during the 1920's and early 1930's.

There are special areas of concern in applying the Spanish Colonial style to a commercial structure, the most critical being an asymmetrical irregularity in the massing of the building forms. Careful attention to the massing of these forms will be the major tool the architect has to create charm and beauty. The roofing material is to be clay barrel tiles only. The color should be a deep reddish brown with an interspersation of naturally flashed tiles. The method of application should be a random pattern and exposure for an irregular appearance. Clay bird stops may be used or the ends of the tiles can be closed off with cement grout. Cement grout should be used on one-story structures. Clay bird stops may be used on two or three-story structures. The application of barrel tiles to the ridges and hips are to be irregular in exposure and grouted into place. The eaves should be started with a stacking of two or three layers of tile. The use of a mansard with flat roofs is acceptable on commercial structures; however, mansards should be 4:12 to 6:12 maximum pitch and should be designed to appear as a normal roof. Small steeply pitched obvious mansard roofs are not acceptable. The use of plaster on the exterior walls is to be in a smooth hand-troweled texture with radiused corners. A careful attention to creating a sense of thick wall construction with deep-set windows and doors should be observed. Windows are also of special concern in their application to commercial structures. It is realized that windows are for





the purpose of display and therefore need to be larger than would normally be used on a Spanish Colonial style building. When an aluminum store front is used, it should be designed to be compatible with this style of architecture. The use of accent colored aluminum and ceramic tile insert panels can be helpful in adapting aluminum storefront to this style. The use of windows with wood cutups is encouraged. Spanish Colonial window treatments should be used on the structures to add character to the buildings. Courtyards, arcades and pergholas are especially appropriate to the commercial areas. It is encouraged that planting be used on the buildings themselves to soften the building forms.

The elevations and perspectives shown in the following exhibits illustrate the application of the Spanish Colonial style to commercial, office and restaurant uses. Please note that these illustrations represent an idealized image of the Spanish Colonial architectural theme. Variations within this theme may also be acceptable.

b. Contemporary Styles

Flexibility for contemporary interpretations of the Spanish traditional styles shall be a part of the design guidelines. General architectural standards established in this guideline will set design objectives and actual proposed designs will be subject to the City's architectural review.

Specific architectural themes are encouraged in certain areas. In addition to traditional Spanish styles and contemporary interpretations of such modern styles utilizing heavy amounts of reflective glass and interesting angles are acceptable in the commercial and garden office use areas subject to City architectural review.

While the Spanish colonial style of architecture is recommended, variations within this style are acceptable subject to Architectural Review Committee approval. The intent is to promote a richness of architectural character which creates a harmonious building style, form, color, material, and roof line, as it relates to the Spanish Colonial architectural theme. Subtle variations are encouraged which provide variety and visual interest, but do not create abrupt changes which may cause discord to the overall design character.

2. Architectural Treatment

a. Building

The architectural treatment selected shall be carried around all sides of a structure. The "Hollywood Front" design approach is not permitted. Extra treatment may be given to the street frontages as long as the basics are carried around the structure. As an example, if one were to use a heavy beam planter around each window, it should be carried around all windows on the



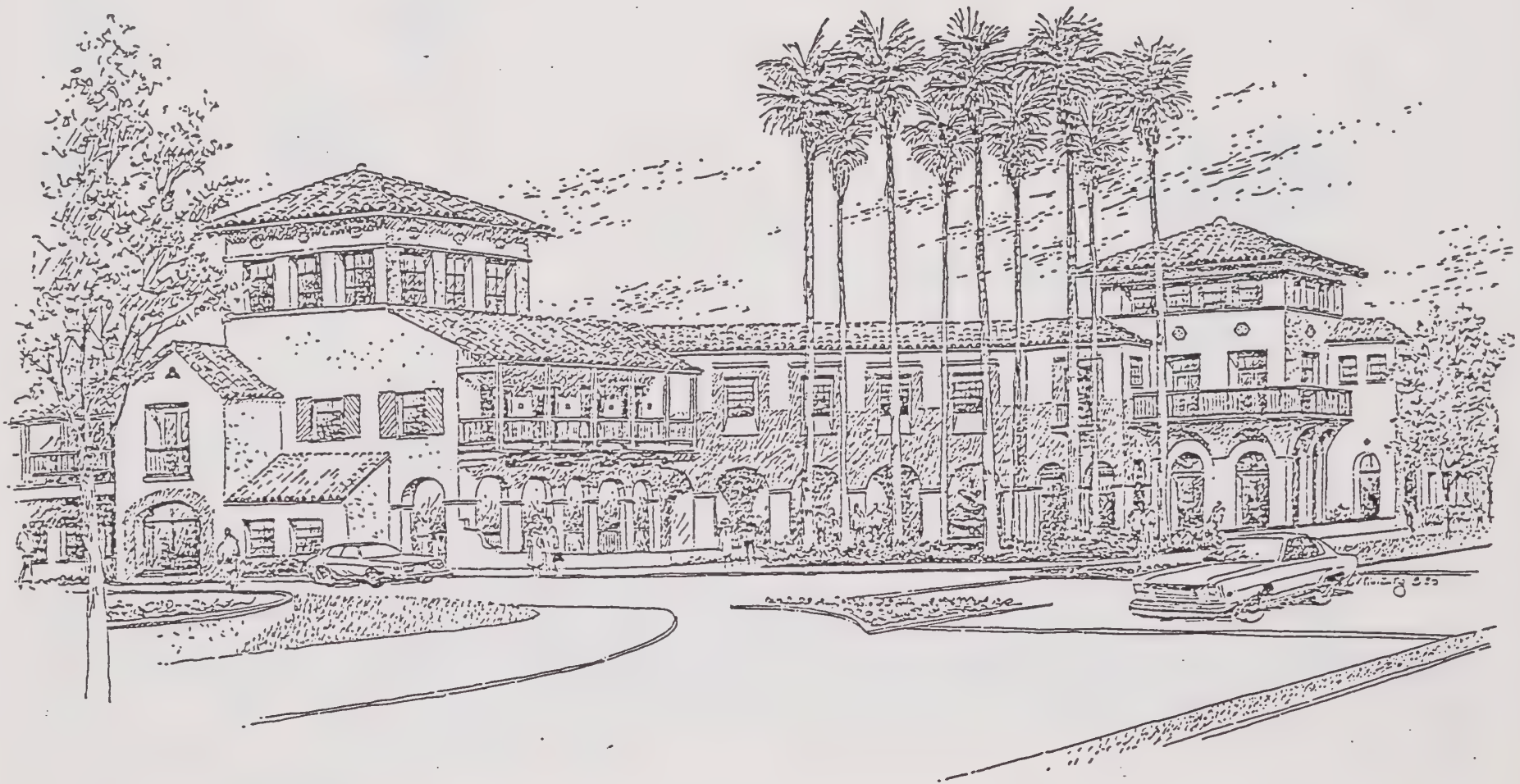


CITY of MORENO VALLEY

COMMERCIAL/RETAIL & OFFICE





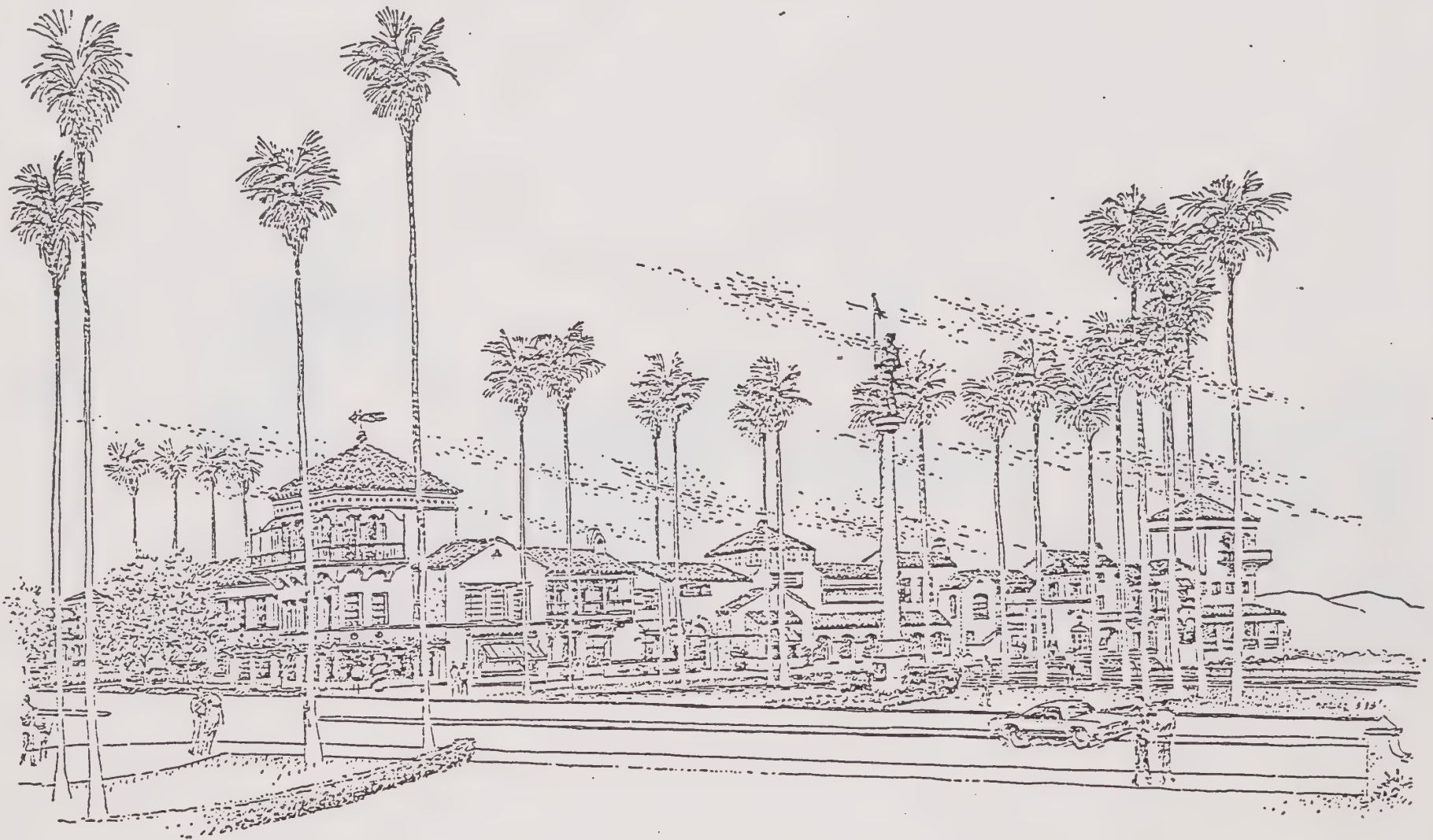


COMMERCIAL/OFFICE  
ILLUSTRATIVE PLAN



COMMERCIAL/OFFICE ILLUSTRATIVE PLAN  
CITY of MORENO VALLEY





COMMERCIAL/OFFICE  
& RETAIL ILLUSTRATIVE



CITY of MORENO VALLEY







COMMERCIAL/OFFICE  
& RETAIL ILLUSTRATIVE



CITY of MORENO VALLEY



structure. One may want to place an under-window planter box on the front side street windows for extra treatment. All building plans should use design amenities such as:

- o Window boxes
- o Balconies and decks
- o Accent panel treatment
- o Roof overlays
- o Decorative windows
- o Recessed window openings
- o Varied roof lines
- o Recessed entrances
- o Planter boxes

Buildings adjacent to a freeway shall provide a dual front facing both the freeway and street, unless adequate screening at the freeway exposure is provided.

Create buildings with a strong indoor-outdoor relationship. Use patios and balconies as an extension of living space which reflect the active community lifestyle of the City of Moreno Valley. These can be additional building elements that create shaded outdoor space while sheltering adjacent indoor rooms. Guidelines for patio and balcony/deck outdoor spaces are as follows:

#### Patio

- o Maximize for flexibility of use
- o Provide for some coverage for shade (overhang, trellis, building above)
- o Use patio walls for definition of space and coordinate with community themes
- o Vary patio wall design (some partially open) and integrate planters into wall design

#### Balcony/Deck

- o Provide outdoor space for second floor, stacked unit (hotel/motel use)
- o Provide enough area for usable space (table and chairs, minimum)
- o Provide for some overhead shade protection

The impact of sunlight is a strong design feature on all buildings. Shadows and shade areas give depth and add interest to building fenestration. Architectural elements to achieve this include offsets, projections, roof overhangs, recesses, and applied devices (awnings). All buildings should include pedestrian shade amenities such as:



- o Awnings      o Kiosks
- o Arbors      o Porticos
- o Arcades

Besides allowing a view out, glass becomes an important visual element of most designs. Clear or bronze tinted glass is acceptable. Specifically prohibited are reflective surfaces and clear, anodized aluminum frames.

The design and siting of buildings should also seek to maximize the natural circulation of air through the structures. This may reduce dependence on mechanical ventilation systems. Specific criteria to be considered include the distance between buildings, building exposure and the design of walkways and windows.

#### b. Roofs

To create interest and variety within the theme area and yet maintain an overall community identity, all roof forms shall present a slope appearance with a minimum of 3:12.

Exceptions to this basic standard are as follows:

Mansards - are allowed, provided that their surface area is not less than one-third (1/3) of the surface area of the flat projection of the roof. A mansard shall be continuous, it shall terminate into a wall or building form.

A mansard portion may be enclosed between two building forms or walls.

Flat Roofs - shall not be encouraged except when necessary to carry out the design theme of a particular architectural style.

Just as roof forms are to be compatible and provide continuity, the same is required of roof materials and their colors. Visible roofs shall be of clay tile, cement tile, slate, or standing seam copper. Wood shakes may be used as a minor accent, provided that they are fire retardant and there is a fire barrier underlayment and approved by the City Fire Chief. Patio roofs, shade covers, and overhead screens shall be constructed of materials matching or complementing the main roof of stained finished wood lattice work.

The recommended roof material style is straight barrel mission tile; however, alternative roof materials styles, such as tapered mission tile or spanish tile, may be appropriate, subject to Architectural Review Committee approval. Appropriate roofing materials consist of clay, cement, or other approved tile.

#### c. Colors

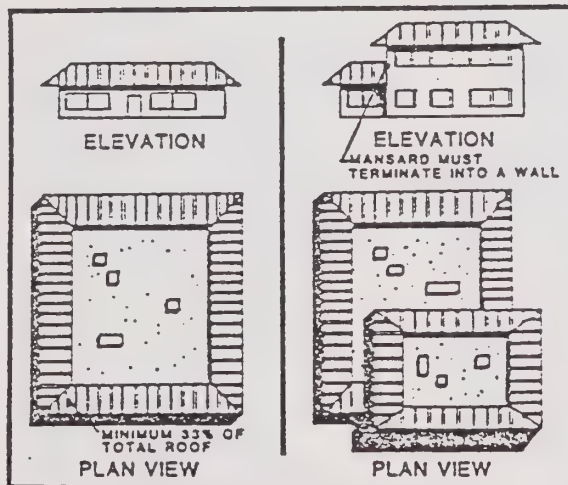
Walls shall retain natural earth colors such as adobe, cream, sand, beige, etc., or pastel colors. Stucco and mortar wash colors should be limited to white, off-white, brown-greys, and



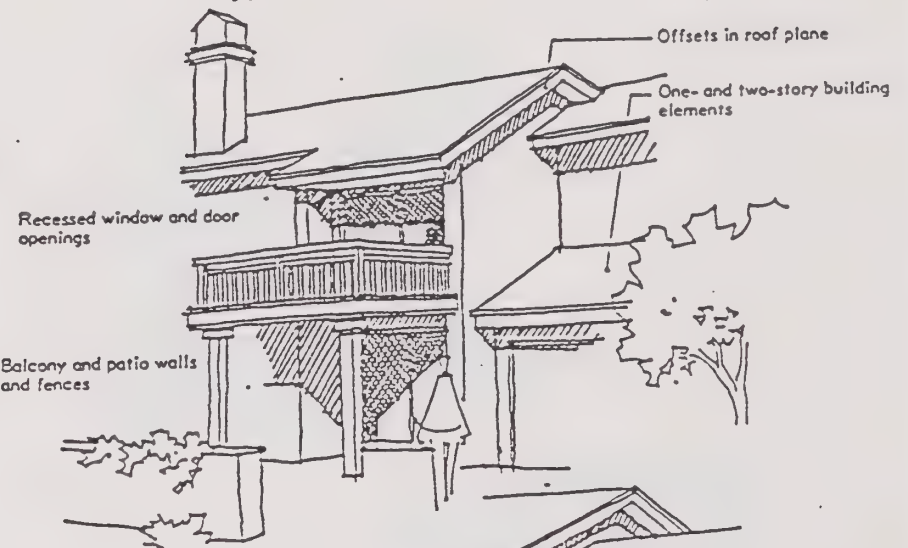


Maintain offsets at  
roof plane changes.

Roof overhangs —  
typical — especially  
desirable at openings



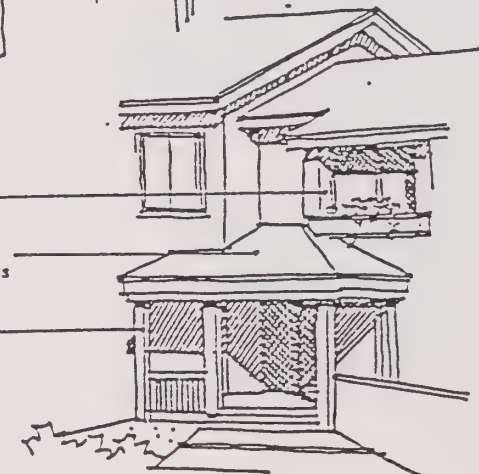
**MANSARD ROOF STANDARDS**  
(USE LIMITED IN THEME AREA)



Recessed openings

Variety of roof forms —  
one- and two-story elements

Overhead cover at entries

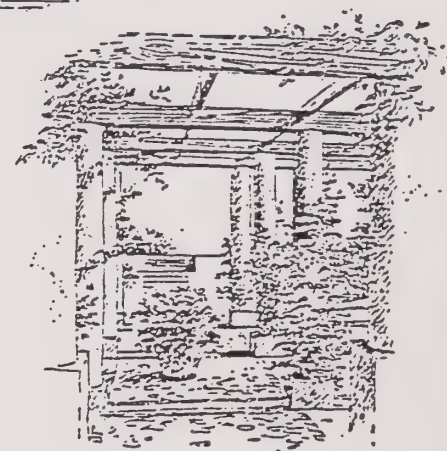
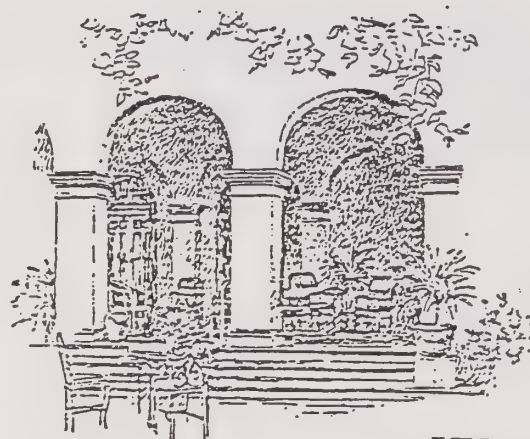


**ROOF FORMS**



**CITY of MORENO VALLEY**



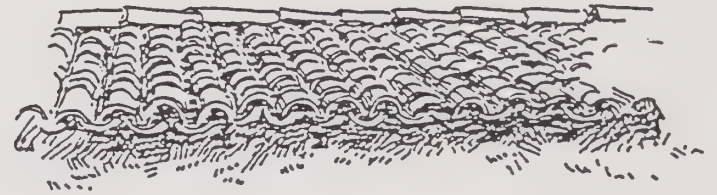


ARCHITECTURAL DETAILS



CITY of MORENO VALLEY





COMMERCIAL/RETAIL  
ILLUSTRATIVE PLAN



CITY of MORENO VALLEY





natural field stone. Wood tones and colors shall complement the dominant building color. Accenting colors may be used in small areas. More dominant colors can be used on buildings with unique architectural design.

### 3. Outdoor Amenities

All outdoor amenities shall be compatible with the development's general theme and compatible with the general design theory.

#### a. Public Area Graphics

The location and design of public area graphics (public area signs, safety signs and directional signs) should be carefully integrated into the building forms, and should be designed to be compatible with neighboring signs.

#### b. Lighting

A unified lighting concept will be used throughout the Sunnymead Boulevard area. This concept utilizes "L"-shaped light standards for overhead lighting in public areas. Additionally, a low "L"-shaped light, or bollard lighting, may be used for illuminating pedestrian areas within the projects.

Pedestrian areas within projects shall utilize a 12-20 foot high light pole, or low bollard light. Pole and bollard lights are subject to approval by the City.

Pedestrian lights should be spaced to meet the lighting requirements of outdoor areas relative to their anticipated uses.

Landscape up-lights are effective for accentuating trees and other plant material; however, they should not be used as the sole source of illumination along walkways or other pedestrian areas.

Additional accent lighting will be reviewed by the City relative to its purpose and the surroundings. In general, all exterior lighting should be soft and indirect, with no light source directly visible to neighboring properties. Directional spot or floodlights shall be avoided in favor of path lights and tree up-lights. Parking lot lights shall be a maximum of twelve (12) feet high and of metal halide. All parking lot lights, area and walk lights, free-standing lights and building lights shall match the decorative design of the street lights. Security lighting fixtures are not to project above the fascia or roofline of the building. Low-level lighting, including vandal-proof standards and fixtures, should be encouraged. Pools of light rather than total illumination are desired.



### c. Street Furniture

Street furniture may be required. All street furniture shall be of similar but not necessarily identical design, if located at a distance of more than twenty-five (25) feet from the structure. Items located within twenty-five (25) feet from a structure's main entrance may be individualized to the structure. Each structure shall incorporate amenities compatible to the theme concepts.

Other items which should be implemented within the Sunnymead Boulevard commercial centers are kiosks, bicycle storage facilities (these shall be related to planned bicycle routes), decorative fountains, drinking fountains, public telephone outlets, and public restrooms.

All outdoor furniture and amenities should be compatible with the major building on the site or other approved theme. The Spanish Colonial theme should be used heavily. They should be sturdily constructed and relatively maintenance-free. To minimize vandalism, concrete materials may be selected. Where a higher degree of pedestrian comfort is desired, or a softer streetscape image is needed, wood may be selectively used to highlight streetscape improvements.

Near primary entrances and major activity points the "low service wall" concept should be utilized. The wall concept coordinates a number of formerly scattered elements, i.e.,

bench/seating area (potential bus stop), accent planter and incorporation of newspaper stands. Some of the existing trash receptacles and planter tubs might be arranged in groupings related to the wall unit.

Bus stops and canopies may be required within 150 feet of an intersection. All such facilities shall be approved by the City in conformance with area design themes, constructed and maintained onsite by the City or owners, and shall not provide or have incorporated any advertising or signs other than bus schedules.

### 4. Equipment Screening

The purpose of equipment screening standards shall be to allow for the use of equipment while preserving the architectural character and integrity of adjacent buildings. Construction, finish and color of walls and fences should be the same as the major building on the site or of approved compatible materials. Metal siding or chain link fencing will not be permitted. Design of the equipment screen shall screen from eye level all visual access to the equipment.

- All roof and ground mounted equipment shall be screened from view on all sides.



- All screening shall be architecturally integrated with the building design and where necessary a roof parapet wall shall be used to screen roof-mounted equipment.

#### 5. Garden Walls/Fencing

All exterior wall treatments should be of more than one material, or if the same material is used, it should be utilized with a varied textural treatment. Metal siding should not be permitted except as an accent material, in which case the metal may not exceed 30 percent of the total elevation area and must be approved as a necessity for design and theme continuity by the City.

Construction, finish and color of walls and fences should be the same as the major building on the site or of approved compatible materials. If wood is used, it must be approved as a necessity for design and theme continuity by the City.

Construction, finish and color of walls and fences should be the same as the major building on the site or of approved compatible materials. If wood is used, it must be in panels enclosed between masonry piers. The maximum length of a continuous flat plane of any wall is fifty (50) feet, piers included. Maximum height in front setbacks is three (3) feet and the maximum height in the side and rear areas is eight (8) feet. Walls and fences shall not block greenbelt areas, vistas, or mini-groves.

#### 6. Energy Conservation

Energy may be conserved by either reducing the need for energy and/or using alternative renewable resources such as the sun. All developments are encouraged to employ as many techniques as feasible to conserve the natural resources.

- o Energy conservation techniques should include both passive and active programs.
- o Standard plans used in other areas should be evaluated in relation to the Moreno Valley summer session.
- o Swimming pools shall use solar water heating as the primary method of heating and shall be coordinated into the design of the building.

#### 7. Crime Reduction

The following standards shall be incorporated where practical to ensure reduced police service demands in the future:

- o Provide visibility to all outside areas from on-site through drives, for easy police patrol;
- o Provide on-site security lighting (fixed for full night hours); and





- o Avoid medium and large-scale plant material adjacent to the buildings or entrances which can hide an individual person from view.

## 8. Graffiti Protection

Wherever feasible, wall and exterior building surfaces should be designed to provide graffiti protection. Walls and buildings abutting public areas such as open space and streets are particularly susceptible to graffiti and therefore should comply with the following guideline examples:

## B. LANDSCAPE ARCHITECTURAL GUIDELINES

### 1. Introduction

The landscape elements developed for the City of Moreno Valley utilize the arterial and roadway network, commercial and community facilities and other public "people gathering places" to develop the desired community landscape character. This approach allows maximum flexibility for each participant in the development of the City to meet the image and identify needs from zone and site themes to individual project identity. The community landscape elements intend to:

- o Develop a landscape character which strengthens the residents' perception of the City community as a unique "place".

- o Differentiate visually the residential and community uses.
- o Create a soft transition between urban development and natural open space.
- o Enhance the pedestrian character and climate of the community areas and other "people gathering places".
- o Differentiate community streets, arrival and entry elements.
- o Provide plant materials that minimize strain on the City's water supply
- o Encourage a landscape theme that creates a lush, shady appearance to counter the hot, arid conditions of the community's summer climate.

### 2. Major Community Street Scenes

The landscape design development associated with the street scene along Sunnymead Boulevard is uniform and consistent in order to provide a strong sense of community identity. Sharp contrasts of tree forms and their placement provide land use emphasis and community direction. Tree forms in particular that are reminiscent of Early California and repetitive of early Riverside County roadways reinforce the landscape heritage of the Moreno Valley area.



As a general informative guideline to the landscape treatment of planting areas throughout the community, the landscape character of the above-referenced major streetscene is presented herein. Refer to the following exhibits for the appropriate plan view and elevation illustrations of the following descriptions:

Cocos plumosa (Queen Palm) trees utilized in formal groves backdrop Primary Entry Monumentation features and recur to emphasize and frame intersections. This delicate appearing but hardy palm may be utilized in formal groves, straight rows or informal grouping at intensive use areas such as plazas, courtyards, recreation features, vista points and commercial developments.

Washingtonia filifera (California Fan Palm) trees utilized in formal groves backdrop Secondary Entry Monumentation features and Transitional Entry Monumentation features associated with the major community streetscenes. This palm tree is best used and is most reminiscent of Early California when used in formal groves or straight rows emphasizing a special land use or entry feature at plazas, courtyards, recreation features, parks, playgrounds, vista points, greenbelts, trail heads or commercial developments.

Cupaniopsis anacardioides (Carrot Wood); Ulmus parvifolia ("Drake" evergreen elm) or Schinus molle (California Pepper) trees are the

primary evergreen theme tree utilized at points of emphasis. As such, they represent foreground specimen accent trees at Primary, Secondary, and Transitional Entry Monumentation features. These trees should be repeated at all significant points of the individual project and community interest. Such applications logically include street intersections; knuckles or changes in street direction; park entries; trail head; walkway or community trail intersections; plazas; courtyards and other such significant locations where a reinforcement of the community theme tree will be recognized and will serve a functional purpose.

Liriodendron tulipfer (Tulip Tree), Koelreuteria bipanuata (Golden Rain Tree), or Platanus acerifolia (London Plane Tree) in a formal arrangement of thirty (30) to forty (40) feet on-center spaced rows are utilized in the right-of-ways and median islands of the major community streetscenes. This medium scale uniform tree serves as a deciduous foreground element providing summer shade and permitting welcome winter sun. Other applications of this tree may include formal groves, a courtyard or plaza canopy, residential street tree or as an informal foreground grove tree in parks, greenbelts or other common areas.

Eucalyptus sideroxylon "Rosea" (Red Ironbark) Pinus eldarica (Mondell Pine) trees are utilized as informal vertical evergreen backdrop trees to all major streetscenes. These trees may be used



to block views or frame views. Their use at the boundary of common streetscenes permit easier transitions to the variety of adjoining land uses. Wherever possible and logical, these evergreen grove trees should be extended from primary streetscenes into adjoining developments as background trees in order to "break-down" the hard development edge between parcels and visually unify land uses.

## 2. On-Site Landscaping

The historical method by which man integrated with the local natural setting also a landscape determinant. The Spanish Colonial and Southern California Ranch architecture and landscape architecture designs maximized climate control through the use of overhangs and shading, i.e., verandas, trellis and arbors. These were often enhanced by colorful flowering vines and functionally extended the interior portions of a dwelling into usable shaded outdoor areas. Plant species will also be selected which complement the Early California/Spanish Colonial architecture themes of the community and blend well with the details and colors inherent in these styles. Landscape designs shall consider such elements as their function, consistency with the building, compatibility with the area, mounding, special physical features, and use of hardscape.

The following are the major landscape standards:

- o Minimum site area devoted to core landscaping shall be ten percent (10%) not including buffer or setback landscaping.
- o Informal groups of trees shall be planted next to structures in two's and three's minimum.
- o Minimum size of 15 gallons shall be required for parking lot treatment.

The following are landscape requirements in addition to above landscape standards:

- o City gateway primary tree shall be Washingtonia filifera (California Fan Palm) and secondary tree shall be a selected on a case-by-case basis.
- o Village gateway primary tree shall be Cocos plumosa (Queen Palm) and the secondary tree shall be Lagerstroemia Indica (Crepe-Myrtle).
- o Primary street tree shall be Washingtonia filifera (California Fan Palm) and the secondary tree shall be Cupaniopsis anacardioides (Carrot Wood).
- o Front yard setback mix shall be Cupaniopsis anacardioides (Carrot Wood), Liquidamber styraciflora (Flame tree), and Schinus terebinthifolius (California Pepper).





- o Grove trees shall be Plantanas acerifolia (Plane Tree), Limiodendron tulipifera (Tulip Tree), and Grevillea robasta (Silk-Oak).
- o Back building tree shall be Eucalyptus citriodora (Lemon-Scented Gum).

The required parking lot landscaping is intended to prevent the visual blight so often associated with the vast asphalt parking areas required for commercial establishments. Parking areas are intended to blend with site plantings and concepts. All planter areas within the parking lots should be provided with trees at the rate of not less than one (1) tree per three (3) parking stalls. Minimum tree size of 15 gallons is required. Approved, fast-growing varieties may be provided at five (5) gallons providing that a total maximum of five (5) trees not comprise in excess of 25 percent of the parking lot trees.

Specimen trees (24-inch box or larger) shall be provided at parking area entries and adjacent to building entrance(s) in order to increase individual development or building identity. A minimum of four (4) trees shall be clustered at each development access point (curb cut) Accent specimen trees, to be located at primary building entries within multi-tenant commercial complexes, shall be required for the major tenant's entry, only.

Along with the basic theme trees, suggested tree species for parking lot planting are as follows:

<u>Albizia julibrissin</u>	Silk Tree
<u>Cupaniopsis anarcoides</u>	Carrotwood Tree
<u>Eucalyptus citriodora</u>	Lemon Scented Gum
<u>Jacaranda mimosifolia</u>	Jacaranda
<u>Plantanus acerifolia</u>	London Plane Tree

Additional species may be used with the approval of the City, if compatible with the basic theme established by the City of Moreno Valley General Plan.

#### 4. Plant Material Palette

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to the community. The plant material lists have been selected for their appropriateness to the project theme, climatic conditions, soil conditions and concern for maintenance.

A limited selection of materials utilized in simple, significant composition complementary to adjacent common landscape areas while reinforcing the individual architectural and site setting is encouraged.



Overall plant material selection for given project areas, wherever possible, shall have compatible drought resistant characteristics. Irrigation programming can then be designed to minimize water application for entire landscape setting.



a. Trees - Evergreen

<u>Botanical Name</u>	<u>Common Name</u>
<u>Acacia bailevana</u>	Bailey Acacia
<u>Arbutus menziesii</u>	Madrone
<u>Arbutus unedo</u>	Strawberry Tree
<u>Brachychiton populneus</u>	Bottle Tree
<u>Ceratonia siliqua</u>	Carob
<u>Citrus species</u>	Citrus Varieties
<u>Comarostaphylis diversifolia</u>	Summer Holly
<u>Cupaniopsis anacardioides</u>	Carrot Wood
<u>Eucalyptus camaldulensis</u>	Red Gum
<u>Eucalyptus maculata</u>	Spotted Gum
<u>Eucalyptus polyanthemus</u>	Silver Dollar Gum
<u>Eucalyptus sideroxylon 'Rosea'</u>	Red Iron Bark
<u>Eucalyptus rudis</u>	Desert Gum
<u>Eucalyptus viminalis</u>	White Gum
<u>Feijoa sellowiana</u>	Pineapple Guava
<u>Hymenosporum flavum</u>	Sweetshade
<u>Melaleuca leucadendra</u>	Cajeput Tree
<u>Olea europaea 'Fruitless'</u>	Fruitless Olive
<u>Pinus canariensis</u>	Canary Island Pine
<u>Pinus coulteri</u>	Coulter Pine
<u>Pinus eldarica</u>	Mondell Pine
<u>Pinus halepensis</u>	Desert Pine
<u>Pinus pinea</u>	Stone Pine
<u>Pinus sabiniana</u>	Digger Pine
<u>Pittosporum rhombifolia</u>	Queensland Pittosporum
<u>Podocarpus gracilior</u>	Fern Pine
<u>Quercus agrifolia</u>	California Live Oak
<u>Quercus ilex</u>	Holly Oak
<u>Schinus molle</u>	California Pepper
<u>Schinus terebinthifolius</u>	Brazilian Pepper
<u>Ulmus parvifolia 'Drake'</u>	Evergreen Elm

b. Trees Deciduous

<u>Botanical Name</u>	<u>Common Name</u>
<u>Albizia julibrissin</u>	Mimosa Tree
<u>Ainus rhombifolia</u>	White Alder
<u>Bauhinia variegata</u>	Purple Orchid Tree
<u>Carissa speciosa</u>	Silk Floss Tree
<u>Ceris occidentalis</u>	Redbud
<u>Fraxinus velutina</u>	Arizona Ash
<u>Fraxinus uhdei 'Tomlinson'</u>	Tomlinson Ash
<u>Ginkgo biloba</u>	Maidenhair Tree
<u>Jacaranda acutifolia</u>	Jacaranda
<u>Koelreuteria bipinnata</u>	Chinese Flame Tree
<u>Koelreuteria paniculata</u>	Golden Train Tree
<u>Lagerstroemia indica</u>	Crape Myrtle
<u>Liquidambar styraciflua</u>	Sweet Gum
<u>Liriodendron tulipifera</u>	Tulip Tree
<u>Platanus acerifolia</u>	London Plane Tree
<u>Platanus racemosa</u>	California Sycamore
<u>Salix babylonica</u>	Weeping Willow
<u>Tipuana tipu</u>	Tipu Tree

c. Palms

<u>Botanical Name</u>	<u>Common Name</u>
<u>Brahea armata</u>	Mexican Blue Palm
<u>Brahea edulis</u>	Guadalupe Palm
<u>Cocos plumosa</u>	Queen Palm
<u>Phoenix canariensis</u>	Canary Island Date Palm
<u>Phoenix dactylifera</u>	Date Palm
<u>Trachycarpus fortunei</u>	Windmill Palm
<u>Washingtonia filifera</u>	California Fan Palm
<u>Washingtonia robusta</u>	Mexican Fan Palm



CITY of MORENO VALLEY





# D. Shrubs

## Botanical Name

Abelia 'Edward Goucher'

Acacia ongerup\*

Acacia redolens\*

Arctostaphylos species

Aucuba japonica

Callistemon species

Camellia species

Ceanothus species

Cistus species

Cocculus laurifolius

Coraderia selloana

Cotoneaster species

Dendromecon harfordii

Dendromecon rigida

Eleagnus pungens

Euonymus fortunei

Euonymus japonica

Fatsia japonica

Hebe coed

Hibiscus rosa-sinensis\*

Ilex species

Lantana species

Ligustrum japonicum

Magnolia soulangeana

Mahonia aquifolium and 'Compacta'

Nandina domestica and 'Compacta'

Nerium oleander

Osmanthus fragrans

Phormium tenax

Photinia frazeri

Pittosporum tobira and

'Wheeler's Dwarf'

## Common Name

Edward Goucher Abelia

No Common Name

No Common Name

Manzanita

Japanese Aucuba

Bottlebrush

Camellia

California Lilac

Rockrose

Snailseed

Pampus Grass

Cotoneaster

Island Bush Poppy

Bush Poppy

Silver Berry

No Common Name

Evergreen Euonymus

Japanese Aralia

Veronica

Chinese Hibiscus

Holly

Lantana

Japanese Privet

Saucer Magnolia

Oregon Grape

Heavenly Bamboo

Oleander

Sweet Olive

Flax

Photinia

Mock Orange

Plumbago capensis

Podocarpus macrophyllus

Prunus caroliniana

Prunus ilicifolia

Pyracantha species

Raphiolepis indica 'Springtime'

Rhus ovata

Ribes sanguinum

Ribes speciosum

Romneva coulteri

Ternstroemia gymnanthera

Zylosma congestum

Cape Plumbago

Yew Pine

Carolina Laurel Cherry

Hollyleaf Cherry

Firethorn

Pink Indian Hawthorn

Sugar Bush

Pink Winter Currant

Fuchsia - Flowering Gooseber.

Matilaja Poppy

Ternstroemia

Xylosma

# e. Sub Shrubs

## Botanical Name

Acanthus mollis

Agapanthus africanus

Arctostaphylos species

Ceanothus species

Clivia miniata

Hemerocallis species

Iris douglasiana

Lonicera japonica 'Halliana'

Mimulus cardinalis

Moraea bicolor

Penstemon species

Rhynchospermum jasminoides

## Common Name

Bear's Breech

Lily of the Nile

Manzanita

California Lilac

Clivia

Day Lily

Beardless Iris

Hall's Honeysuckle

Monkey Flower

Fortnight Lily

Beard Tongue

Star Jasmine



CITY of MORENO VALLEY



## 5. Planting Time

Due to the climate extremes of the Moreno Valley area, the installation of plant materials during the coldest winter months (December through March) or the hottest summer/fall months (July through September) can be difficult. Container plant materials not acclimated to the area can easily suffer from frost damage or sun/heat exposure resulting in partial or entire foliage loss even though such materials are perfectly suited to the temperature once established. If planting must be done during these difficult periods, plant establishment may be difficult, and may require a prolonged period of time.

## 6. Landscape Development

### a. Installation Requirements

All areas required to be landscaped shall be planted with turf groundcover, shrub or tree materials selected from the plant palette contained in these guidelines.

The owners of parcels which require landscape development shall assess any existing common landscape areas adjoining their property. Where feasible, landscape development shall assess any existing common landscape areas adjoining their property. Where feasible, landscape development

shall reinforce or be compatible with such existing common area setting.

## 7. Climate Constraints

Plant material palettes for the City of Moreno Valley contained herein are compatible with the climatic setting of the area. The utilization of some materials depending upon their site location, exposure and relationship to other influential factors may not be appropriate. As an aid to the most appropriate plant material selection, the following climatological factor summary is presented.

### a. Temperature

The maximum summer temperature is 116<sup>0</sup>F and the minimum winter temperature is 18<sup>0</sup> F. The average summer daytime temperature is 90<sup>0</sup> F with the average nighttime temperature being 58-1/2<sup>0</sup> F. The average nighttime temperature is 65<sup>0</sup> F with an average nighttime temperature of 40<sup>0</sup> F.

### b. Wind

The prevailing summer wind direction is northwest, at an average speed of 5 knots. Maximum wind velocities reach 43 knots.



The prevailing winter wind direction is northwest, at an average speed of 4 knots. Winter wind velocities reach a maximum of 49 knots.

Extreme seasonal wind velocities may exceed knots at peak gust periods.

c. Rain

Average annual rainfall is 8.9 inches per year.

8. Horticultural Soils Test Requirements

Soil characteristics which the city limits of Moreno Valley are variable. The owners of parcels which require landscape development shall procure a horticultural soils report in order to determine proper planting and maintenance requirements for proposed plant materials. This soils test shall be performed by a qualified agricultural laboratory and shall include soil fertility and agricultural suitability analysis with pre-plant and post-planting recommendations.

9. Irrigation

All areas required to be landscaped shall be watered with an automatic underground irrigation system. Irrigation systems which adjoin a street easement, Homeowners Association or other maintenance responsibility are shall be designed

in a manner which ensures complete water coverage between the areas.

Proper consideration of irrigation system design and installation in the climate extremes in the City of Moreno Valley is critical to the success of the landscape investment. In particular, the combined summer elements of heat and wind must be carefully considered in proper irrigation design and selection. The installation of moisture-sensitive as well as drip and other low volume systems are encouraged.

Irrigation systems shall be designed with head-to-head 100 percent double coverage at a minimum. Matched heads from the same manufacturer should be used throughout. In addition, irrigation controllers should have a minimum time setting of one (1) minute and be capable of providing multiple repeat and start times.

All irrigation heads adjacent to walks, drives, and curbs (car overhangs) shall be of the pop-up type.

Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or shall be screened with appropriate plant materials.





## 10. Accent Paving

The recommended accent paving to be used in center medians, at significant street intersections, Primary Boulevard entries, and at commercial parking entries shall be a stamped concrete material or interlocking pavers where soil conditions permit. Acceptable colors of all hardscape materials include reddish-brown or terra-cotta colors. All hardscape materials located within the public right-of-way shall be reviewed and approved by the City Engineer.

## 11. Tree Well Covers

Tree wells surrounded by paved surfaces occur in the parkways of major street scenes adjacent to commercial land uses near the Village Cores. In addition, a great many opportunities for tree wells in plazas, courtyards, and other pedestrian areas are encouraged. Tree well covers may be interlocking concrete pavers set over a sand base with subterranean irrigation to reinforce accent paving themes. Cast iron, decorative tree well covers (grates) may also be appropriate. Pre-cast concrete tree well covers designed to complement adjacent flatwork may also be appropriate. Synthetic, resin-based tree well covers should not be used.

## C. SIGN DESIGN GUIDELINES AND CRITERIA

### 1. General

- o All signs shall be in scale with the surrounding building environment. Colors and materials shall be sensitively selected to blend signage with landscape and architectural elements.
- o When signs are present in setback areas, care shall be taken to position the signs so as to maintain safe sight distances as entrances to the public right of way.
- o The ground surrounding monument signs may be bermed, and walls with signing attached (entry walls) may be stepped, if necessary, in order to elevate the signs. Berming shall be limited to two (2) feet in height above the surrounding finish grade.
- o Materials for permanent ground and monument signs should be of stucco or concrete sign face area with clay tile or red brick trim. Colors for the sign face area should be pastel or earth tones. In general, signs shall relate to the architectural style of the project.



## 1. Illumination

- o Front lighting may be accomplished by weather-tight light fixtures. All front lighting shall project an even beam spread over the surface of the sign area.
- o Reverse channel letters may be back-illuminated with low-voltage lights or neon to create a silhouette effect. Letter faces may not transmit light.
- o Internally illuminated signs are permitted, provided that the background of the sign is opaque. Only letters and figures shall transmit light.
- o Bare neon, animated, and other high-key signing may be considered for appropriate night life type uses. All light fixtures shall appear on buildings.



# COMMUNITY ELEMENTS



CITY of MORENO VALLEY



## V. COMMUNITY ELEMENTS

### A. CITY GATEWAY

City gateways are penetration points which act as "doors" to the City. they are the first elements to establish an image and welcome to the visitor or commuter. There are two scales of City gateways: major and minor. Major gateways are points at which regional transportation corridors (such as SR-60 and I-215) enter the City. Minor gateways are points at which intracity connectors (such as Sunnymead Boulevard at Frederick and Pigeon Pass roads) enter the city.

### B. VILLAGE GATEWAY

Village scale gateways are entrances to smaller scale developments such as commercial nodes, community area complexes and villages. On Sunnymead Boulevard, village gates occur on Frederick and Pigeon Pass roads to the west and on Perris Street to the east.

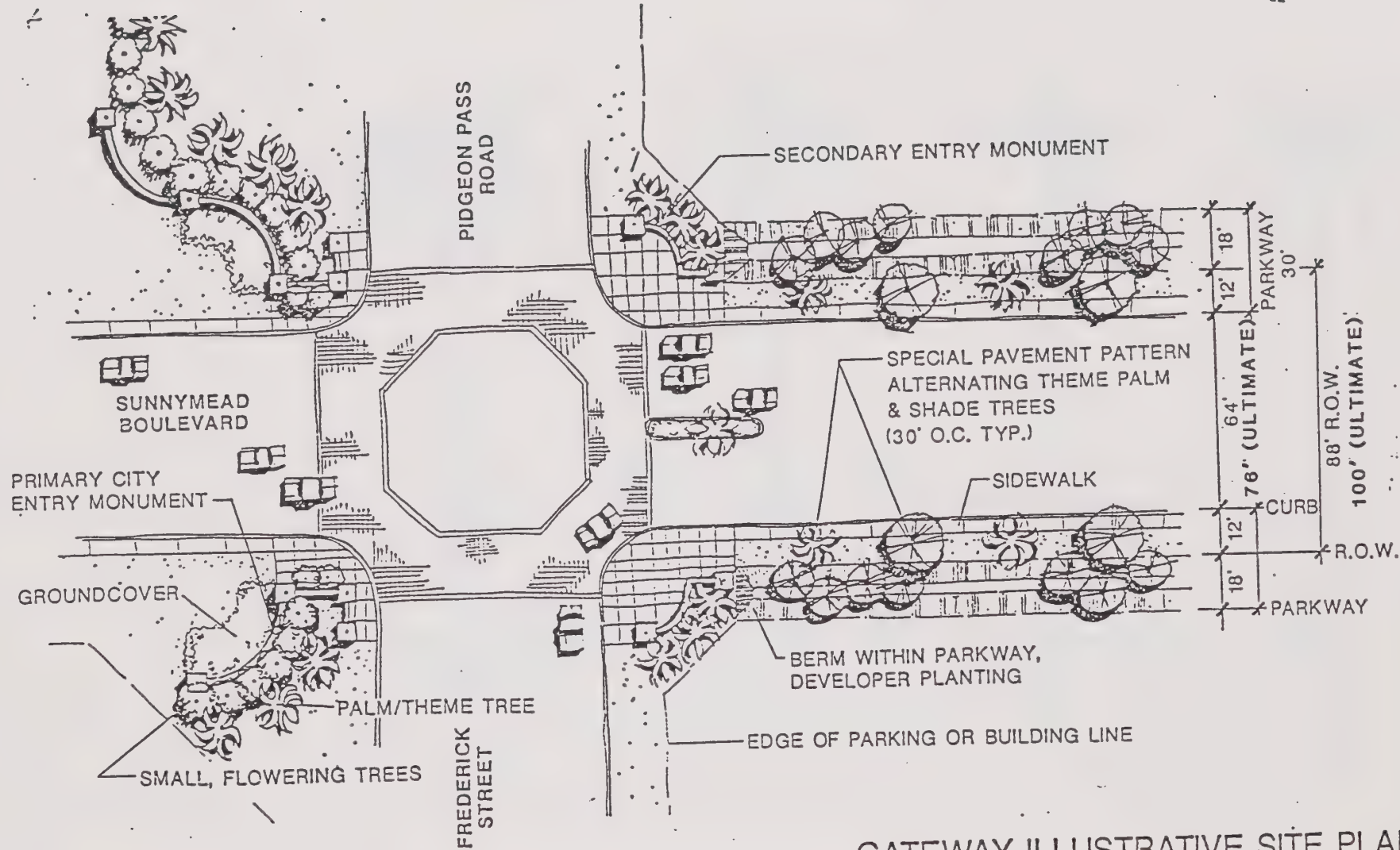
The overall sense of gateway monumentation is created by a harmonious blend of thematic features occurring in a formal, symmetrical configuration on both sides of the roadway, including:

- o A gateway wall and pilasters.

- o A foreground planter area with flowering blends of low shrubs, ground cover, and annual color.
- o Special paving at the corners for pedestrians.
- o Special paving at intersections for the automobile -- as well as pedestrians -- to cross.
- o Rolling turf grass around the entry area to set a park-like ground plane.
- o Special details, such as City logo graphics, village name, wood vegas, and tiled caps and reveals.
- o Specialty lighting of graphics, wall, and specimen trees.







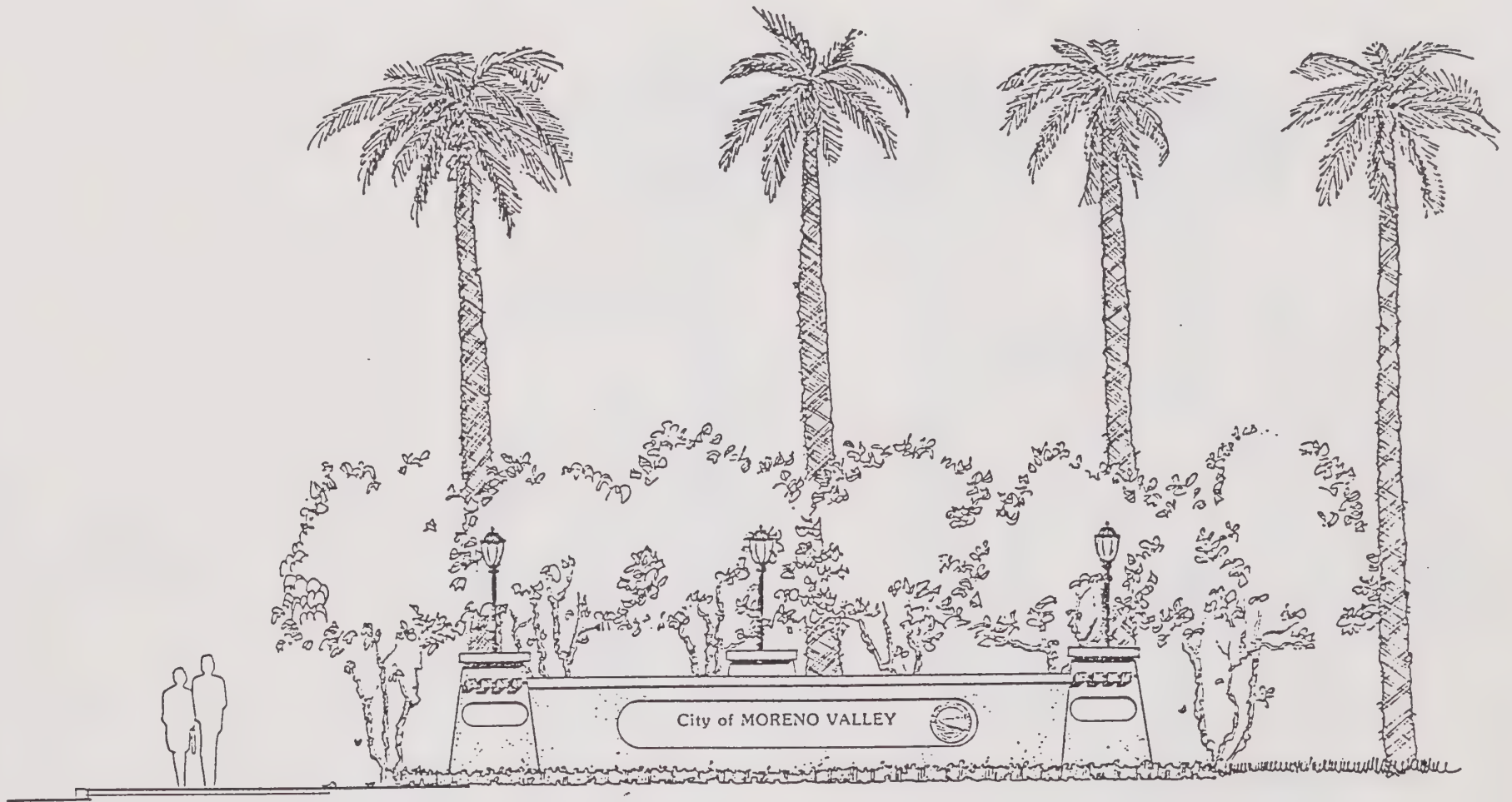
GATEWAY ILLUSTRATIVE SITE PLAN



CITY of MORENO VALLEY

NOTE: THE ULTIMATE FUTURE ROW FOR SUNNYMEAD BOULEVARD SHALL BE 100'.



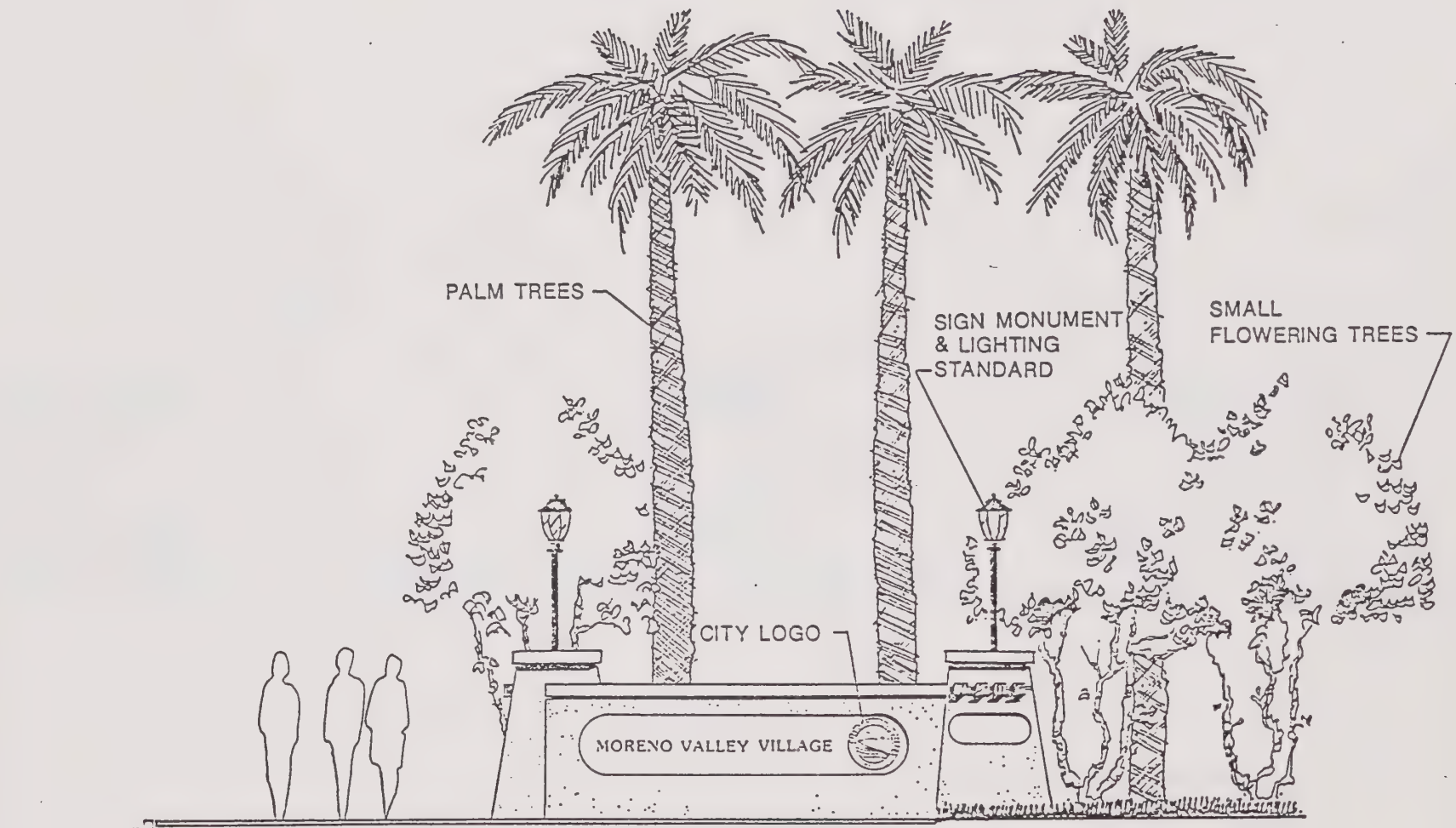


PRIMARY ENTRY-CITY MONUMENT



CITY of MORENO VALLEY





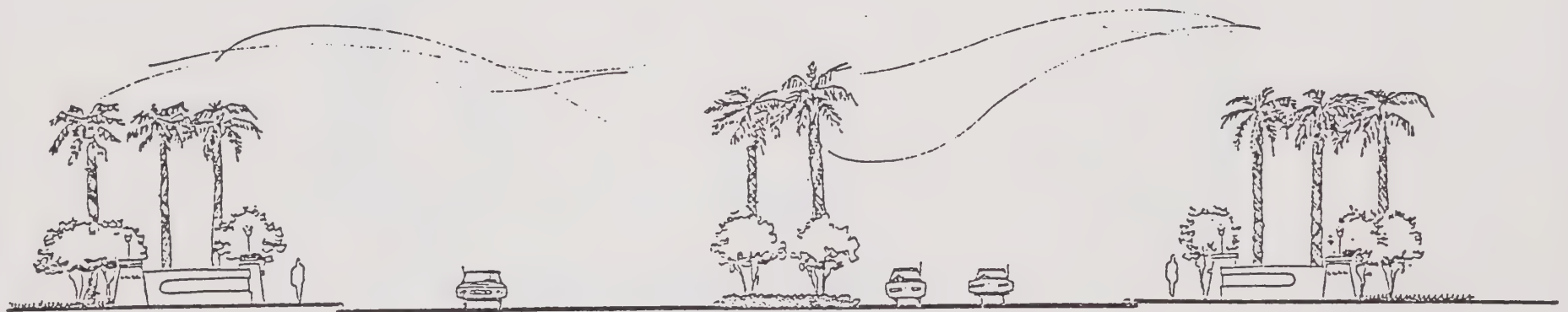
SECONDARY ENTRY MONUMENT



CITY of MORENO VALLEY





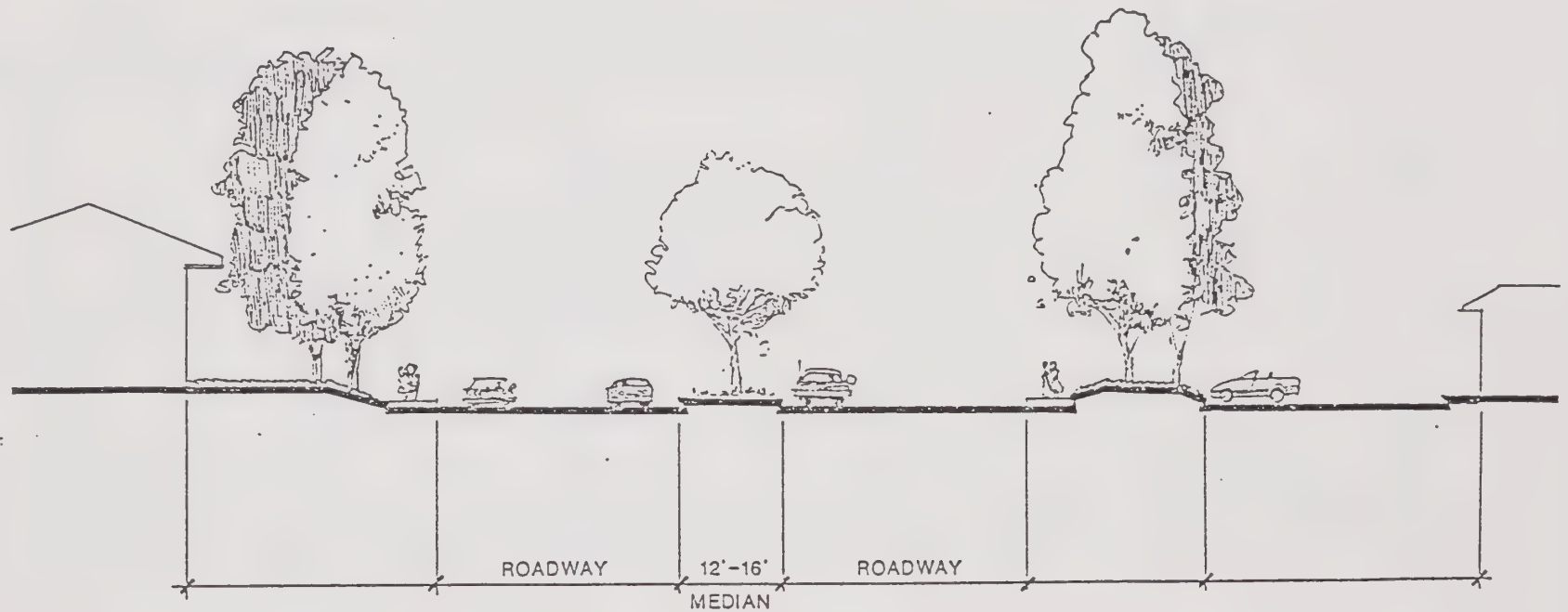


SECTION-SUNNYMEAD  
SECONDARY ENTRY MONUMENT



CITY of MORENO VALLEY



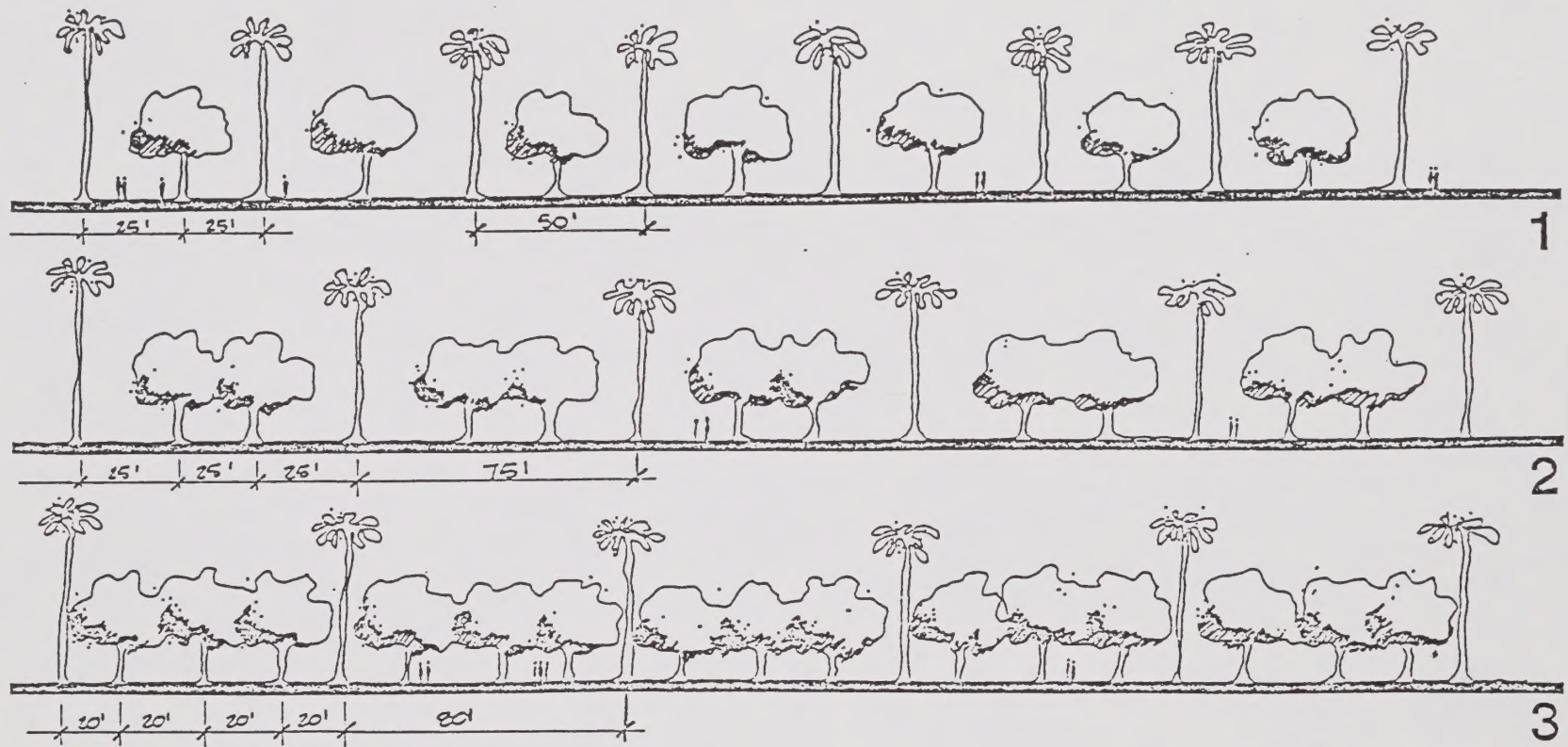


SUNNYMEAD BOULEVARD  
STREETSCAPE AND SETBACKS



CITY of MORENO VALLEY

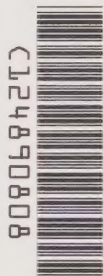




MAJOR THOROUGHFARE—  
SUNNYMEAD BLVD. ALTERNATIVE  
STREET TREE ARRANGEMENTS



CITY of MORENO VALLEY



CJ24890808



STREET TREE ARRANGEMENTS  
SUMMER AND BUILT ALTERNATIVE  
MADE THROUGHWAYS

CITY OF MORGAN VALLEY









